

ADDENDUM #1

Hasty Community Center Renovations – Bid #2017-008

City of Auburn, Maine

28 November 2016

Please include the following recommended changes:

GENERAL ITEMS:

1. Bidders are advised that the City of Auburn, Maine has conducted a Lead analysis of the suspect Fiberglass Reinforced Plastic (FRP) block and the results are **NEGATIVE**. Refer to the attached letter from the testing agency.
2. Bidders are advised that the intent of the majority of the revisions to the drawings are to provide plumbing chases for an easier installation resulting in a net decrease to the overall project cost.
3. Refer to the attached Pre-Bid Meeting Minutes for items discussed and individuals present at the mandatory pre-bid meeting.

CHANGES TO THE SPECIFICATIONS:

1. **Section 09 51 00 – Acoustical Ceilings: DELETE** Paragraph 2.01, A, 2 in its entirety. Provide CertainTeed Ceilings, PERFORMA Fine Fissured, HHF-197 where new suspended ceilings or new ceiling tiles in existing grid are indicated on the drawings.
2. **Section 10 28 00 – Toilet & Bath, Accessories: ADD** Paragraphs 2.01, D; 2.01, E; and 2.01, F as follows:
 - D. Robe Hooks:
 1. Lasco 35-5003 DBL or approved equal.
 - E. Mirrors:
 1. Bradley model 780 series 18"x30" float glass mirrors with stainless steel frames or approved equal.
 - F. Plumbing Access Panels:
 1. Babcock Davis or approved equal. Size as indicated on the drawings.

CHANGES TO THE DRAWINGS:

1. **Drawing A1.1: DELETE** drawing A1.1 in its entirety. **REPLACE** with the attached revised drawing A1.1. Revisions include modifications to the restroom walls, toilet partitions and plumbing fixture layouts to accommodate a less complicated plumbing installation.
2. **Drawing A1.2: DELETE** drawing A1.2 in its entirety. **REPLACE** with the attached revised drawing A1.2. Revisions include modifications to the restroom walls, toilet partitions and plumbing fixture layouts to accommodate a less complicated plumbing installation.

3. **Drawing A3.1: DELETE** drawing A3.1 in its entirety. **REPLACE** with the attached revised drawing A3.1. Revisions include modifications to the restroom elevations including walls, toilet partitions and plumbing fixture layouts to accommodate a less complicated plumbing installation.
4. **Drawing A3.2: DELETE** drawing A3.2 in its entirety. **REPLACE** with the attached revised drawing A3.2. Revisions include modifications to the restroom elevation to remove the towel bars and replace with robe hooks.
5. **Drawing M-1: DELETE** drawing M-1 in its entirety. **REPLACE** with the attached revised drawing M-1. Revisions include modifications to the restroom walls, toilet partitions and plumbing fixture layouts to accommodate a less complicated plumbing installation.
6. **Drawing E-1: DELETE** drawing E-1 in its entirety. **REPLACE** with the attached revised drawing E-1. Revisions include modifications to the restroom walls, toilet partitions and plumbing fixture layouts to accommodate a less complicated plumbing installation.
7. **Drawing P-2: DELETE** drawing P-2 in its entirety. **REPLACE** with the attached revised drawing P-2. Revisions include modifications to the restroom walls, toilet partitions and plumbing fixture layouts to accommodate a less complicated plumbing installation.

CLARIFICATIONS AND QUESTIONS ASKED BY BIDDERS:

1. *Question:* Is asbestos abatement part of the renovation contract?
Answer: No, the Owner will contract directly with an asbestos abatement contractor for removal of pipe insulation. The selected contractor will be responsible for coordination with the Owner and the Owner's abatement contractor on the timing of the abatement work.
2. *Question:* Any idea if they want a lever handled panic device or actually a rim panic device and the "narrow stile handle latch" is a mistake in the spec? The way it is written they are asking for 2 types of locking hardware that are in conflict. Please advise.
Answer: A rim panic device with electric strike will be acceptable. The narrow style handle is removed, provide a latch.
3. *Question:* They have specified pivots but I would recommend butts on exterior applications. Please advise.
Answer: The butt hinges are acceptable.
4. *Question:* Any idea what the finish is? All they say is "anodized" but they do not specify what kind. It matters mostly as it related to the auto door opener which must match the door.
Answer: Dark Bronze aluminum to match existing storefront door in room 110. Contractor to verify existing finish.
5. *Question:* Do they really want wire glass on doors 7 and 17 or fire rated? If fire rated, what rating?
Answer: Doors 7 and 17 are to be wire glass. There is no fire rating required.

6. *Question:* Paragraph 2.02 Accessories, B. Headrails: Hollow chrome plated steel tube, with anti-grip strips etc... Typically the headrail is aluminum. Would an aluminum headrail be acceptable?

Answer: Yes, an aluminum headrail would be acceptable.

7. *Question:* Will infills and Jambs of new openings require “toothing” of block?

Answer: Yes.

8. *Question:* Several notes on A1.1 refer to an “FRP” block. Can you clarify what this refers to?

Answer: FRP Block is concrete block with a Fiberglass Reinforced Plastic coating on the exposed face. Existing FRP (as noted on the drawings) that is to remain is to be painted with the products specified and block in-fills are to be standard concrete block.

9. *Question:* Is facility available for site visit during working hours Tues. or Weds.?

Answer: Yes, contact Derek Boulanger to schedule a time for the visits.

10. *Question:* The bid form states that we are to hold our price for both 30 and 60 days?

Answer: The bidders are to hold their pricing for 30 days.

11. *Question:* Item # 1 of the pre-bid minutes states that the bid is to include the schedule of values. Item # 17-J states that the “selected” contractor will provide a schedule of value within 10 days. Please advise.

Answer: Include the schedule of values with your bid proposal. The schedule of values within 10 days of award shall be on a form such as the AIA G703 continuation sheet for future payment requisitions.

12. *Question:* I see that there is a line item for a Notary Signature on the Bid Form. Are we to provide both a Bid Bond and a Notarized copy of our bid?

Answer: Yes, both the bid form and bid bond are to be notarized.

13. *Question:* Would you please provide us with the specific Insurance limits/requirements for the Hasty Community Center project?

Answer: Comply with the following Insurance limits/requirements:

CONTRACTOR’S LIABILITY INSURANCE:

The CONTRACTOR shall not commence work under this Agreement until he has obtained all insurance required under this paragraph and such insurance has been approved by the CITY, nor shall the CONTRACTOR allow any subcontractor to commence work on his subcontract until all similar insurance required of subcontractor has been so obtained and approved. **It is a requirement that the CITY be named as an Additional Insured on the General Liability and Automobile Liability policies.**

(a) **Commercial General Liability** to include products and completed operations, and blanket contractual. The limits of liability shall be as follows:

Bodily Injury and Property Damage	\$1,000,000
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Personal Injury and Advertising Injury	\$1,000,000
Per Project Aggregate	\$1,000,000
General Aggregate	\$2,000,000
Products and Completed Operations Aggregate	\$2,000,000
Medical Payments	\$10,000

(b) Business Automobile Liability

The CONTRACTOR shall maintain and cause all sub-contractors and lower tier contractors to maintain business automobile liability insurance covering all owned, non-owned, leased, rented or hired automobiles (symbol 1). The limits of liability shall be as follows:

Bodily Injury and Property Damage	\$1,000,000
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Automobile physical damage coverage shall be at the option of the CONTRACTOR, all sub-contractors and lower tier contractors. The CITY shall not be liable for physical loss or damage to any owned, non-owned, leased, rented or hired automobile.

(c) Workers' Compensation Insurance

The CONTRACTOR shall maintain and cause all sub-contractors and lower tier contractor's to maintain Workers' Compensation and Employers Liability in accordance with the laws and regulations of the State of Maine. The limits of liability provided shall be as follows:

Coverage A:	Statutory
Coverage B:	\$100,000/\$500,000/\$100,000

(d) Professional Liability

If the CONTRACTOR is an Architect, Engineer or Surveyor, they shall maintain a policy of insurance to pay on their behalf whatever amounts that may become legally required to pay on account of an error, omission or negligent act.

Limits of Liability shall be as follows:

\$1,000,000 per occurrence and in the aggregate site specific.

It is a requirement that this policy be maintained for a period of three (3) years following completion of the project.

(e) Certificates of Insurance of the types and in the amounts required shall be delivered to the CITY prior to the commencement of any work by the CONTRACTOR, subcontractor or lower tier contractor or any person or entity working at the direction or under control of the CONTRACTOR. The CONTRACTOR shall assume the obligation and responsibility to confirm insurance coverage for all sub-contractors or lower tier contractors who will participate in the project.

(f) The Certificate of Insurance and the policies of insurance shall include a sixty (60) day notice to the CITY of cancellation, non-renewal or material change in coverage or form.

Attachments:

1. FRP Block Lead Test Letter
2. Pre-Bid Meeting Minutes
3. Drawing A1.1, Proposed Floor Plan
4. Drawing A1.2, Enlarged Toilet Plans
5. Drawing A3.1, Proposed Interior Elevations
6. Drawing A3.2, Proposed Interior Elevations
7. Drawing M-1, Mechanical Layout
8. Drawing E-1, Electrical Plan
9. Drawing P-2, Plumbing Layout

END OF ADDENDUM #1



South Paris
17-19 Market Sq.
PO Box 278
S. Paris, ME 04281
(207) 743-7716
Fax: 743-6513

Lewiston
240 Bates Street
Lewiston, ME 04240
795-4065

Wilton
284 Main Street
Wilton, ME 04924
(207) 645-9512
Fax: 645-2609

November 16, 2016

City of Auburn
Derek Boulanger
60 Court St
Auburn, Me. 04210

Re: Hasty Memorial Building

I performed a Lead Paint Survey this morning at the above referenced building with measurements taken on concrete block in the bathrooms, supply room and kitchen as directed. All readings were negative, under the State of Maine DEP actionable Lead paint ruling.

As with any public building built prior to 1978, RRP standards should be in place during rehab including dust wipes upon completion.

The measuring device used was the XRF analyzer #2330 set at 1.0 mg/cm (2).

Sincerely,

A handwritten signature in blue ink, appearing to read "Kevin Leonard", is written over a blue circular scribble.

Kevin Leonard
LRA #0387

Project:	City of Auburn, Maine – Hasty Community Center Renovations Project	Date:	November 9, 2016
Project No.:	CCPG #964	Bid No.:	2017-008
Meeting:	Pre-Bid Meeting	Time:	9:00 a.m.
Location:	Hasty Community Center, Auburn, Maine		

<u>Attendees</u>	<u>Company</u>	<u>E-Mail</u>
Derek Boulanger	City of Auburn, Facilities Manager/Purchasing Agent	dboulanger@auburnmaine.gov
Mitch Daigle	Cordjia Capital Projects Group, LLC	mdaigle@cordjiacpg.com
Roger Soucy	Crapott’s Corp.	crapottscorp@roadrunner.com
Tyler Coffin	Doten’s Construction	tyler@dotens.com
Brian McCarthy	Roy Snow, Inc. (electrical)	brian.mccarthy@roysnow.com
Travis Sanlin	T. Buck Construction, Inc.	tina@tbuckcon.net
Scott Conlogue	I.E.C. Electrical	scott@iecinc.us
James Perz	Hahnel Bros. Co.	jperz@hahnelbroscos.com
Mike DiMatteo	DiMatteo Const. Management	DiMatteoCMS@yahoo.com
Jim Pelsos	Blane Casey BC, Inc.	jbecker@blanecasey.com
Simon Hebert	Hebert Construction, LLC	shebert@hebertconstruction.com
Dan Callahan	Monadnock Commercial Building Co.	Dan_callahan@comcast.net
Frank Lemelin	Regional Electric	frank@regionalelectric.com
Mark Morin	Nason Mechanical Systems	mmorin@nasonmechanical.com
Matt Hopkins	Royal Flooring	matt@royalflooring.com
Frank Perry	Atlantic Environmental Contractors	fperry@aecne.net
Kevin Bowman	Bowman Constructors	bids@bowmanconstructors.com
Dan Bradstreet	Sheridan Corp.	dbradstreet@sheridancorp.com
Tony Reny	DeBlois Electric, Inc.	treny@debloiselectric.com

Copy of Meeting Minutes sent to: Attendees Names listed above.

1.	<p>Bid opening will be at 2:00 pm on December 1, 2016 at 60 Court Street, Auburn, Maine. Bids must be delivered and stamped received prior to the 2:00 pm deadline.</p> <p>All bid questions and RFI’s must be submitted in writing to both Mr. Mitch Daigle of Cordjia Capital Projects Group (“Cordjia”) and Mr. Derek Boulanger of the City of Auburn (“COA”) prior to 2:00 pm on November 28, 2016. Email is preferred, but it is the responsibility of the contractor to confirm that the email correspondence has been received.</p> <p>Addendums and clarifications will be issued to the contractor’s email addresses that were provided on the pre-bid sign in sheet. The contractors should ensure that whoever this email address belongs to knows to distribute the addendums and clarifications to the correct person. Please allow read receipts for emails. The final addendum (if any) will be issued by 2:00 pm on November 29, 2016.</p>
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Project No.:	CCPG #964	Bid No.:	2017-008
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Location:	Hasty Community Center, Auburn, Maine		

ID	Discussion / Remark
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	The BID PROPOSAL FORM must acknowledge all addendums issued and have the addendum number(s) and date(s) indicated and the submitted bid package shall include the SCHEDULE OF VALUES FORM as well as the BID BOND.
2.	Points of contact are as follows: <u>Technical Inquiries:</u> Mr. Mitch Daigle - Cordjia; Office: 207-236-9970; Mobile: 207-333-2226; Email: mdaigle@cordjiacpg.com <u>Bidding Inquiries & Access to the Building:</u> Mr. Derek Boulanger – City of Auburn (COA); Office: 330-6601, ext. 1135; Email: dboulanger@auburnmaine.gov
3.	The selected contractor shall provide a copy of all certificates of insurance with limits pursuant to the City of Auburn’s requirements prior to commencing the work.
4.	Permits are the contractor’s responsibility for their scope of work and shall be included in the bid. The Authority Having Jurisdiction (AHJ) shall be contacted for verification of any applicable permitting requirements and fees. The Building Permit Fee is anticipated to be waived; however it is the responsibility of the contractor to verify this and any other permit requirements with the AHJ.
5.	All new work completed under this contract shall be in compliance with MUBEC, NEC 2014 and all other applicable Local, State and Federal regulations.
6.	The selected contractor is expected to start the work once a notice of award has been issued and substantially complete the work no later than March 31, 2017 (110 calendar days).
7.	This project is subject to compliance with all requirements of the Occupational Safety and Health Administration (OSHA), Volume 36, No. 105 of the Federal Register; U.S. Department of Labor published Saturday, May 29, 1971, as amended.
8.	There is adequate space at the project site and designated parking, storage, and mobilization areas will be further discussed prior to construction with the selected contractor.
9.	It will be the contractor’s responsibility for the proper legal disposal of all construction waste.

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Location:	Hasty Community Center, Auburn, Maine		

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10.	The only COA personnel that is authorized to approve a change to the bid documents is Mr. Derek Boulanger. If a condition arises that warrants a change order it must be pre-approved by Mr. Derek Boulanger. No exceptions.
11.	The selected contractor shall submit as soon as possible to Cordjia and COA and before any material or equipment is purchased, the manufacturer's data, catalog cuts, samples, or other information as required for the submittal items listed in the contract documents.
12.	The selected contractor will be responsible for direct coordination with the Owner and the Owner's other contractors for work that may be executed under separate contract. The Owner will contract directly with an asbestos abatement contractor for removal of pipe insulation. A hazardous materials report may be downloaded from the COA website at: http://www.auburnmaine.gov/pages/business/bid-2017-008
13.	The Owner's business operations must continue throughout the entire construction period. It is the contractor's responsibility to coordinate construction activities with the Owner.
14.	The contractor shall continuously maintain adequate protection of all work from damage and shall protect the property from injury or loss for the duration of this contract, and shall make good any such damage, injury or loss. Maintain the building water-tight.
15.	All construction materials shall be new, with the exception of materials designated for reuse, and shall be installed in accordance with the manufacturer in order to maintain the manufacturer's warranty.
16.	After the general scope overview and project presentation meeting, the contractors were toured through the premises which included all project proximities both interior and exterior as required. The contractors were informed to call or email Mr. Derek Boulanger in advance for arrangement of additional site visits.
17.	<p>Specific Work Conditions & Clarifications:</p> <ul style="list-style-type: none"> a. The access around the building must be kept clear at all times for emergency vehicles. b. The selected contractor will be responsible for their own jobsite security.

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| | <ul style="list-style-type: none"> c. The Owner will remove all equipment and materials from the work area prior to the start of work. The contractor must notify the Owner that the work area needs to be cleared at least 72 hours in advance of the need to move furnishings, equipment, materials, etc. d. Contractors will have access to the site between 7:00 AM and 6:00 PM (flexible). The Owner may provide special access on late weekdays, weekends, and holidays by special request with a minimum of 48 hours advance notice and approval by the Owner. e. No power or utility cutoff (if required) will be permitted without 3 days advance notice and approval by the Owner. f. Construction debris not immediately contained in a proper disposal container will not be tolerated at any time during the duration of this project. g. Smoking and tobacco products are allowed on the building grounds provided it occurs at the designated smoking area. Waste must be properly disposed of or taken off-site. h. The selected contractor is to provide all equipment and materials required for the prosecution of the work whether or not indicated in the contract documents at no additional cost to the Owner. i. The selected contractor is not required to provide a jobsite trailer unless they choose to do so. The contractor may use the onsite bathroom facilities. The use of one bathroom shall be maintained during the course of construction for Owner and contractor use. j. The selected contractor will be required to submit a construction schedule and a schedule of values within 10 days of notice of award. k. The Owner will supply power, water and general heating of the building. Should the use of such utilities become excessive, the Owner reserves the right to revoke such use. Any temporary panels or connections shall be supplied by the contractor. l. The contractor shall protect the newly installed ADA accessible ramp during construction. The contractor shall coordinate with the Owner on the timing for installing the railings on the ramp by the Owners ramp contractor. |
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18.	The selected contractor shall request inspections at 25%, 50%, 75% completion and the punch-list inspection in writing (email is acceptable) seven (7) days prior to the desired date.
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	The punch-list inspection is to confirm that all equipment is in place and is functioning in accordance with the construction documents and noted items should be cosmetic and minor in nature. If there are multiple page lists of deficiencies found during this inspection, the contractor will be responsible to provide funding for the cost of additional inspection(s).
19.	The contractor shall submit closeout documentation (Redline Drawings and O&M Manuals) to Cordjia and COA prior to claim for final Application for Payment. Closeout procedures will be strictly enforced and the progress of closeout documentation will be checked at regular intervals during construction.
20.	The bid drawings are diagrammatic in nature and original construction drawings from a similar facility will be made available to the contractors for verification of existing conditions which must be verified in the field by the contractor. The similar facility drawings can be downloaded from the COA website at: http://www.auburnmaine.gov/pages/business/bid-2017-008
21.	Attachments: a. Pre-Bid Meeting Sign-In Sheet.



Mitch Daigle
VP & Senior Project Manager
Cordjia Capital Projects Group, LLC

Pre-Bid Meeting Sign-In

November 9, 2016

Time: 9:00 am

Client:	City of Auburn, Maine
Project:	Hasty Community Center Renovations Project – Bid # 2017-008

	Name	Company Name	Email Address	Phone Number
1.	Derek Boulanger	City of Auburn, Facilities Manager	dboulanger@auburnmaine.gov	207-333-6601, ext. 1135
2.	Mitchell Daigle	Cordjia Capital Projects Group	mdaigle@cordjiacpg.com	207-236-9970
3.	Roger Soucy	Crapott's Corp	rcrapott@scorp@ Roadsunner.com	897-4264
4.	Tyler Coffin	Doten's Construction	Tyler@dotens.com	865-4412
5.	Brian McCarthy	Roy Snow Inc. (Electrical)	brian.mccarthy@roysnow.com	782-3734
6.	Travis Sanclix	T-BACK construction inc.	Tina@TB4K.com.net	783-6223
7.	SCOTT CON/ogue	I.E.C Electrical	SCOTT@IECFNC.US	577-5905
8.	James Perz	Hahnel Bros	JPerz@hahnel Bros.co.com	5130820
9.	MIKE D'MATTEO	D'MATTEO CONST. MANAGEMENT	DIMATTEO@GMAIL.COM	767-7410
10.	Jim Pelsor	Blanco Casey BC Inc	jbecker@blanocasey.com	622-5600

Pre-Bid Meeting Sign-In

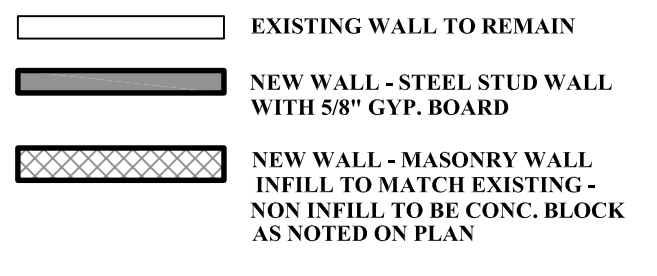
November 9, 2016

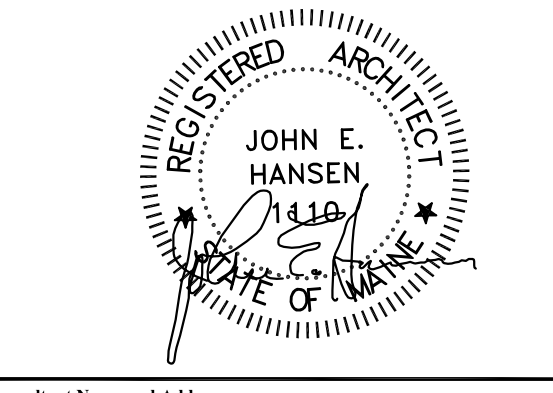
Time: 9:00 am

Client:	City of Auburn, Maine
Project:	Hasty Community Center Renovations Project – Bid # 2017-008

	Name	Company Name	Email Address	Phone Number
11.	SIMON HERBERT	HERBERT CONSTRUCTION, LLC	shebert@herbertconstruction.com	207-212-6742 (C) 207-783-2091 (O)
12.	DAN CALLAHAN	Monctonrock Commercial Building Co.	dan-callahan@comcast.net	603-965-5262 (C)
13.	FRANK LEMELIN	REGIONAL ELECTRIC	Frank@REGIONALELECTRIC.com	576-2793
14.	Mark Morin	Nason Mechanical Systems	mmorin@nasonmechanical.com	782-0727
15.	Matt Hopkins	Royal Electric	MATT@ROYALELECTRIC.com	784-6967
16.	Frank Perry	Atlantic Environmental Contractors	fperry@aecne.net	740-7270
17.	Kevin Bowman	Bowman Constructors	bids@bowmanconstructors.com	368-2405
18.	Dan Bradstreet	Sheridan Corp.	dbradstreet@sheridancorp.com	453-9311
19.	Tony Realy	DEBLOIS ELECTRIC, Inc.	TRENY@DEBLOISELECTRIC.COM	207 783-6512 EXT 107 207 576-3604
20.				

Client:
City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

Legend:

 EXISTING WALL TO REMAIN
 NEW WALL - STEEL STUD WALL WITH 5/8" GYP. BOARD
 NEW WALL - MASONRY WALL INFILL TO MATCH EXISTING - NOX INFILL TO BE CONC. BLOCK AS NOTED ON PLAN



Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
 PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

Firm Name and Address:

CORDJIA
 CAPITAL PROJECTS GROUP
 Camden, ME | Portland, ME | York, ME
 207.236.9970 | www.cordjiacapitalprojects.com

Drawing Status:
 CONCEPT DESIGN
 30% DESIGN DEVELOPMENT
 60% DESIGN DEVELOPMENT
 90% DESIGN DEVELOPMENT
 100% BID DOCUMENT
 100% CONSTRUCTION DOCUMENT
 RECORD DOCUMENT
NO DRAWING SHALL BE RECOGNIZED AS A CONSTRUCTION DOCUMENT UNLESS IT BEARS A SIGNED REGISTRATION SEAL.

Sheet Title:
PROPOSED FLOOR PLAN

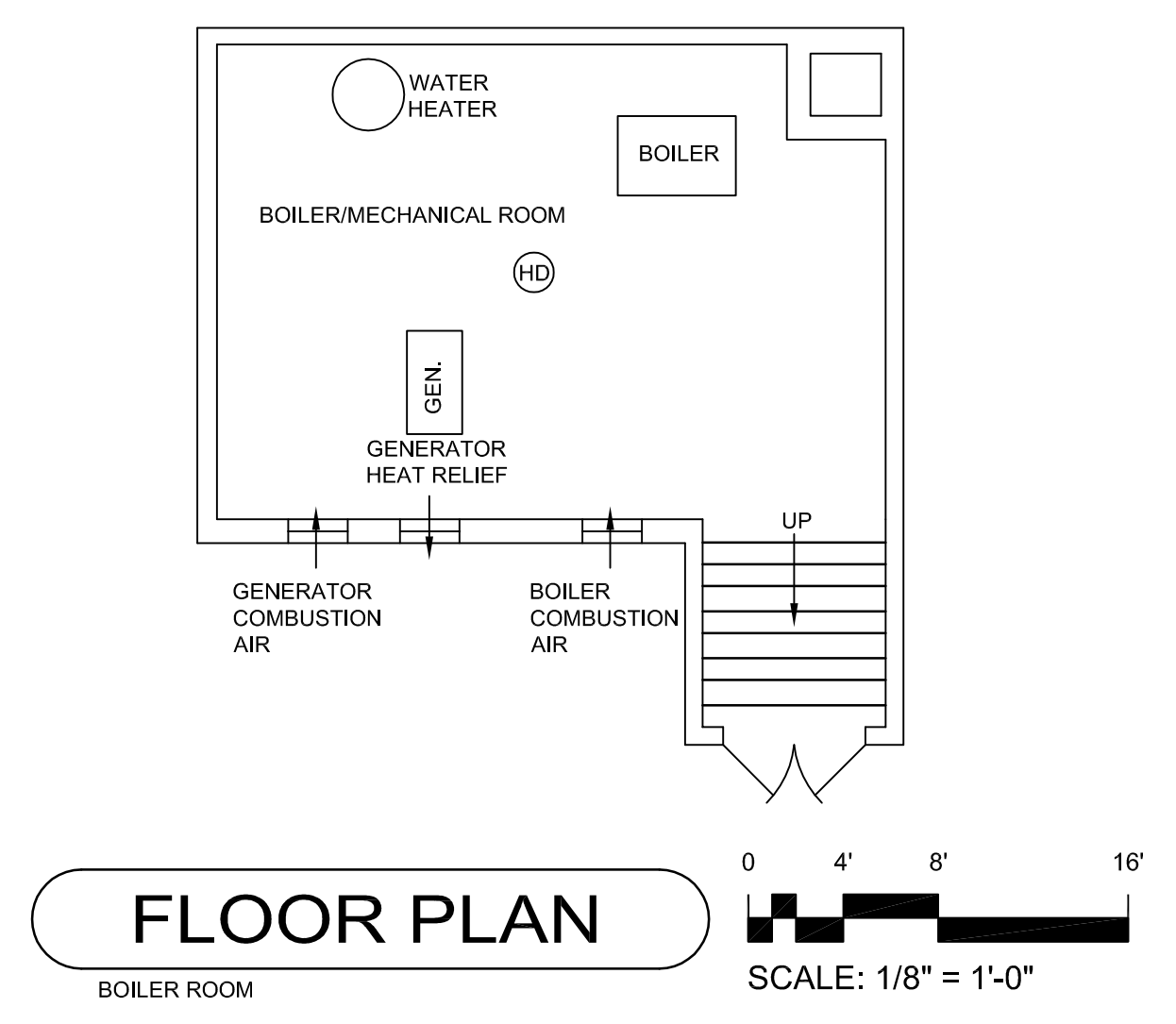
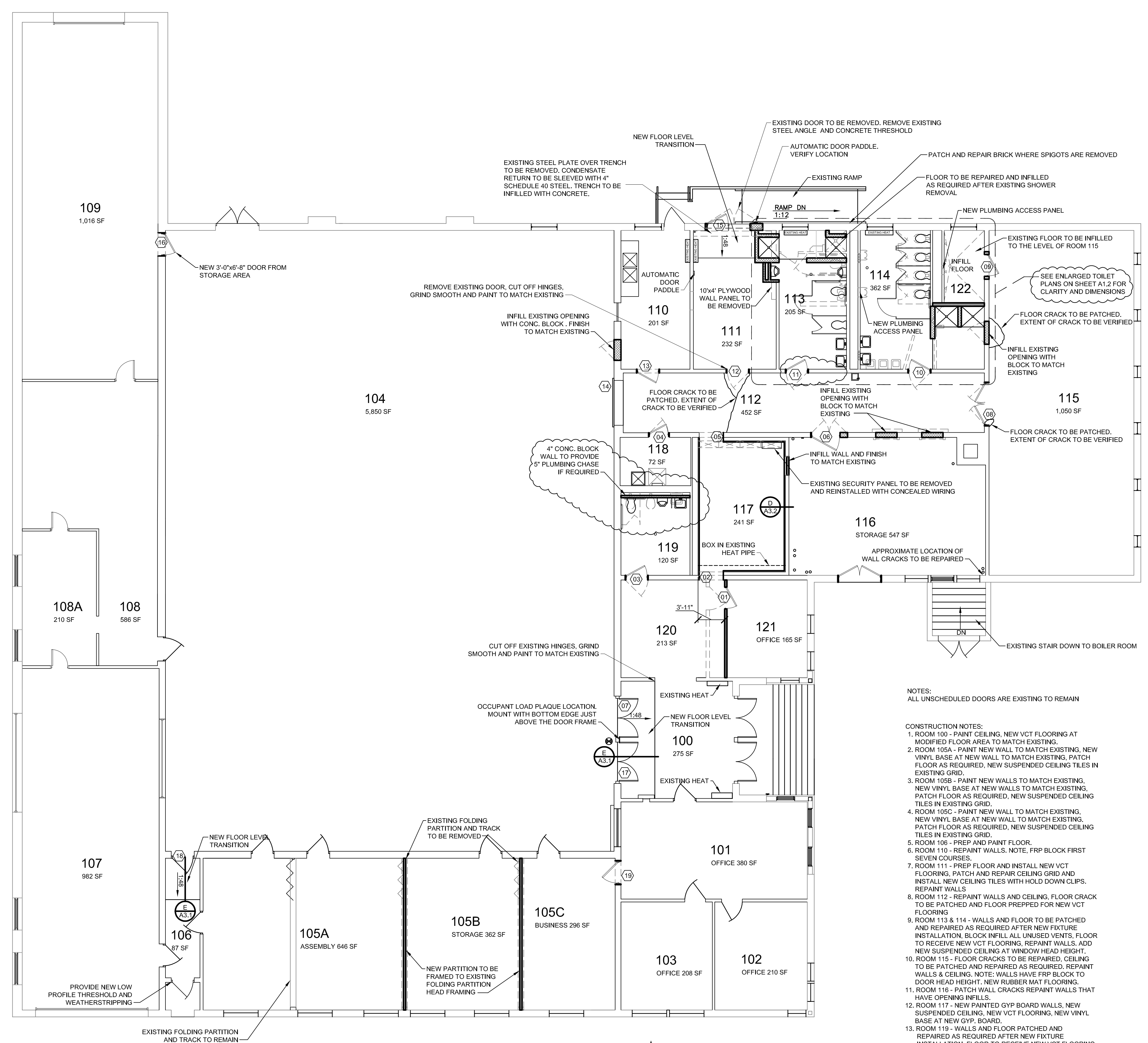
01	PLUMBING CHASE	11/23/16
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No.	Revision/Issue	Date
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Design by: JEH
 Checked by: MAD
 Drawn by: CMC
 Approved by: BMB

Project: NO. 964
 Date: OCTOBER 28, 2016

Sheet Number:
A1.1

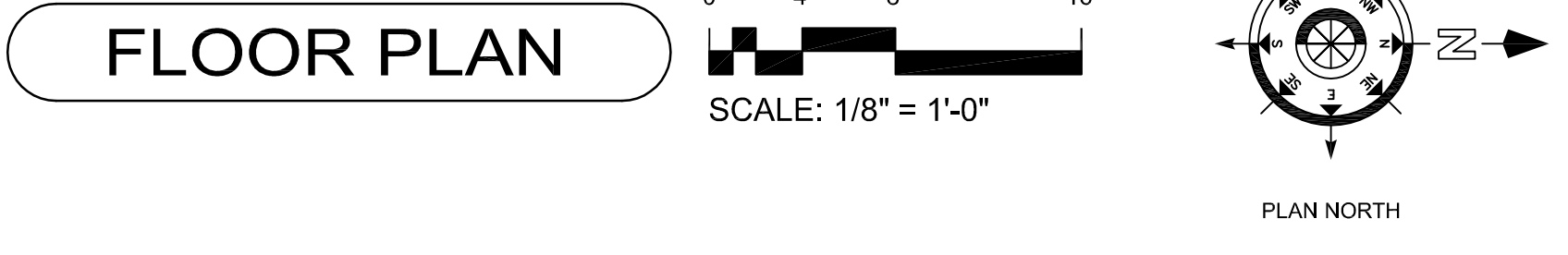


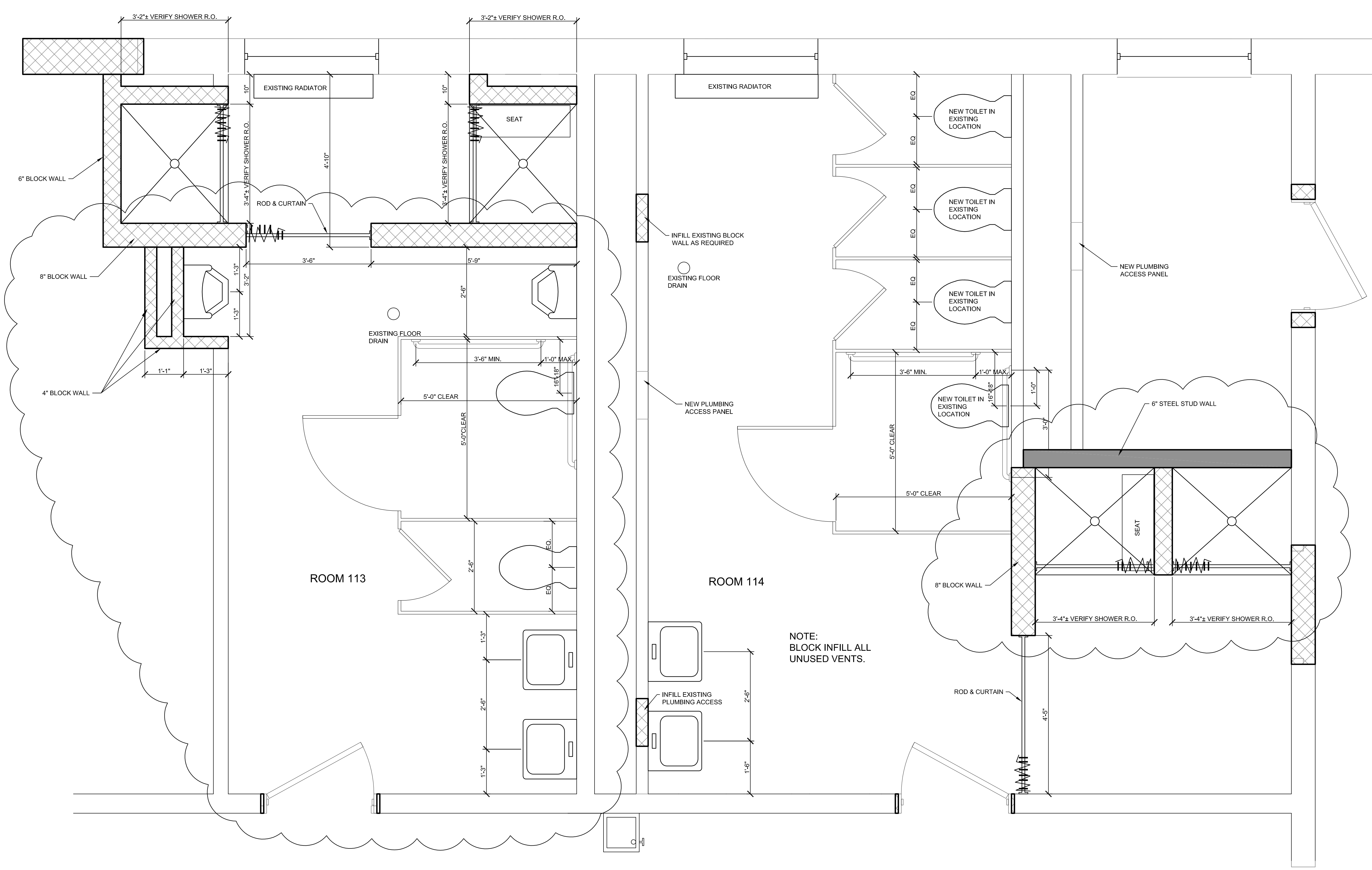
GENERAL NOTES

- GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD
- THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER IS RESPONSIBLE FOR COORDINATION AND THOROUGH UNDERSTANDING OF ALL DRAWINGS AND SPECIFICATIONS. GENERAL CONTRACTOR OR CONSTRUCTION MANAGER MUST REPORT ALL CONFLICTS BETWEEN SEPARATE ADJACENT TRADES PRIOR TO THE INSTALLATION OF ANY CONFLICTING WORK.
- ALL GENERAL NOTES APPLY UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- INSTALL WORK READILY ACCESSIBLE FOR OPERATION, MAINTENANCE, AND REPAIRS. PROVIDE ACCESS DOORS IN WALLS AND CEILINGS AS NEEDED TO ACCESS CONCEALED ITEMS.
- COORDINATE STAGING AREAS WITH OWNER AND ARCHITECT AND ANY OTHER CONTRACTORS EMPLOYED BY OWNER PRIOR TO COMMENCEMENT OF WORK.
- ALL NOTES AND DETAILS MARKED TYPICAL APPLY TO SIMILAR CONDITIONS THROUGHOUT THE PROJECT WHETHER SPECIFICALLY NOTED OR NOT.
- DRAWINGS ARE PREPARED TO SCALE UNLESS NOTED NTS (NOT TO SCALE)
- THE CONTRACTOR SHALL FURNISH AND INSTALL ADEQUATE TEMPORARY VERTICAL & LATERAL BRACING AT ALL TIMES DURING CONSTRUCTION UNTIL STRUCTURE IS COMPLETELY TIED TOGETHER.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL BLOCKING NECESSARY TO MOUNT GRAB BARS, TOILET ACCESSORIES, ETC.
- ALL FRAMING LUMBER SHALL BE NELMA SPF NO. 1 OR APPROVED EQUAL.
- PROVIDE ALL NECESSARY WOOD FRAMING, BRACING, BLOCKING, NAILERS AND SHIMS REQUIRED TO INSTALL ALL DOORS, WINDOWS, MEP WORK, MILLWORK, MOLDINGS, ACCESSORIES, CABINETS, FIXTURES AND FITTINGS.
- MAKE MINOR RELOCATIONS OR ADJUSTMENTS AS REQUIRED BY FIELD CONDITIONS. FOR WALL LOCATIONS NOT DIMENSIONED, ADVISE THE ARCHITECT IF LAYOUT LOCATIONS DIFFER FROM THE SCALED LOCATIONS BY MORE THAN 3".
- PROVIDE TRANSITION STRIPS AT ALL FLOORING TRANSITIONS AND DIFFERING FLOOR MATERIAL THICKNESSES.
- ASBESTOS HAS BEEN IDENTIFIED IN THE PLUMBING CHASES. THE OWNER HAS CONTRACTED THE ABATEMENT. G.C. TO COORDINATE WITH ABATEMENT CONTRACTOR.
- GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ALL FLOOR PREPARATION FOR NEW FLOOR OR FINISH.
- FILL ALL HOLES IN BLOCK WALLS AND FLOOR. FINISH TO MATCH EXISTING.
- FRP BLOCK TO BE PAINTED WITH SHERWIN WILLIAMS EXTREME BOND PRIMER AND PRE-CATALYZED WATER BASED EPOXY.

NOTES:
 ALL UNSCHEDULED DOORS ARE EXISTING TO REMAIN

CONSTRUCTION NOTES:
 1. ROOM 100 - PAINT CEILING, NEW VCT FLOORING AT MODIFIED FLOOR AREA TO MATCH EXISTING.
 2. ROOM 105A - PAINT NEW WALL TO MATCH EXISTING, NEW VINYL BASE AT NEW WALL TO MATCH EXISTING, PATCH FLOOR AS REQUIRED, NEW SUSPENDED CEILING TILES IN EXISTING GRID.
 3. ROOM 105B - PAINT NEW WALLS TO MATCH EXISTING, NEW VINYL BASE AT NEW WALLS TO MATCH EXISTING, PATCH FLOOR AS REQUIRED, NEW SUSPENDED CEILING TILES IN EXISTING GRID.
 4. ROOM 105C - PAINT NEW WALL TO MATCH EXISTING, NEW VINYL BASE AT NEW WALL TO MATCH EXISTING, PATCH FLOOR AS REQUIRED, NEW SUSPENDED CEILING TILES IN EXISTING GRID.
 5. ROOM 106 - PREP AND PAINT FLOOR.
 6. ROOM 110 - REPAIR WALLS. NOTE, FRP BLOCK FIRST SEVEN COURSES.
 7. ROOM 111 - PREP FLOOR AND INSTALL NEW VCT FLOORING, PATCH AND REPAIR CEILING GRID AND INSTALL NEW CEILING TILES WITH HOLD DOWN CLIPS. REPAIR WALLS.
 8. ROOM 112 - REPAIR WALLS AND CEILING, FLOOR CRACK TO BE PATCHED AND FLOOR PREPPED FOR NEW VCT FLOORING.
 9. ROOM 113 & 114 - WALLS AND FLOOR TO BE PATCHED AND REPAIRED AS REQUIRED AFTER NEW FIXTURE INSTALLATION. BLOCK INFILL ALL UNUSED VENTS. FLOOR TO RECEIVE NEW VCT FLOORING, REPAIR WALLS. ADD NEW SUSPENDED CEILING AT WINDOW HEAD HEIGHT.
 10. ROOM 115 - FLOOR CRACKS TO BE REPAIRED, CEILING TO BE PATCHED AND REPAIRED AS REQUIRED, REPAIR WALLS & CEILING. NOTE: WALLS HAVE FRP BLOCK TO DOOR HEAD HEIGHT, NEW RUBBER MAT FLOORING.
 11. ROOM 116 - PATCH WALL CRACKS REPAIR WALLS THAT HAVE OPENING INFILLS.
 12. ROOM 117 - NEW PAINTED GYP BOARD WALLS, NEW SUSPENDED CEILING, NEW VCT FLOORING, NEW VINYL BASE AT NEW GYP. BOARD.
 13. ROOM 119 - WALLS AND FLOOR PATCHED AND REPAIRED AS REQUIRED AFTER NEW FIXTURE INSTALLATION. FLOOR TO RECEIVE NEW VCT FLOORING AND VINYL BASE, WALLS AND CEILING TO BE PAINTED. NOTE, FIRST COURSE OF BLOCK IS FRP BLOCK.
 14. ROOMS 120 @ 121 - FLOOR AND CEILING TO BE PATCHED & REPAIRED AS REQUIRED AFTER WALL RELOCATION. ALL WALLS TO BE PAINTED, NEW VINYL BASE ON RELOCATED WALL.
 15. ROOM 122 - WALLS TO BE PAINTED. NOTE, FRP BLOCK FIRST 10 COURSES. FLOOR TO BE SEALED CONCRETE.
 16. BUILDING TO BE EQUIPPED WITH A FIRE ALARM SYSTEM, N.I.C.
 17. EXISTING BOILER ROOM TO HAVE A RATE OF RISE HEAT DETECTOR, N.I.C.
 18. ALL NEW INTERIOR STEEL STUD PARTITIONS TO HAVE FIBERGLASS INSULATION FOR SOUND CONTROL.
 19. PROVIDE A PLAQUE LISTING THE OCCUPANT LOAD OF 990 IN ROOM 100.





ENLARGED TOILET PLANS

0 8" 1'-4" 2'-8"

SCALE: 3/4" = 1'-0"

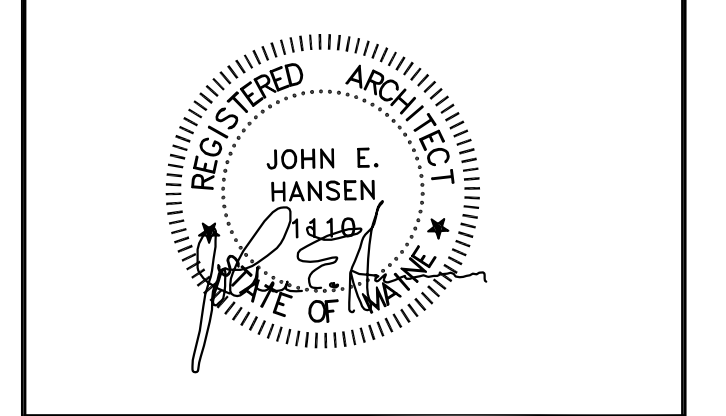
ELEVATION KEY

Project:
HASTY COMMUNITY CENTER RENOVATIONS
 48 Pettingill Park Road, Auburn, Maine
 Bid No. 2017-008

Client:
City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

Legend:

- EXISTING WALL TO REMAIN
- NEW WALL - STEEL STUD WALL WALL WITH 5/8" GYP. BOARD
- NEW WALL - MASONRY WALL INFILL TO MATCH EXISTING - NON INFILL TO BE CONC. BLOCK AS NOTED ON PLAN



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- 60% DESIGN DEVELOPMENT
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Sheet Title:
ENLARGED TOILET PLANS

No.	Revision/Issue	Date
01	PLUMBING CHASE	11/23/16

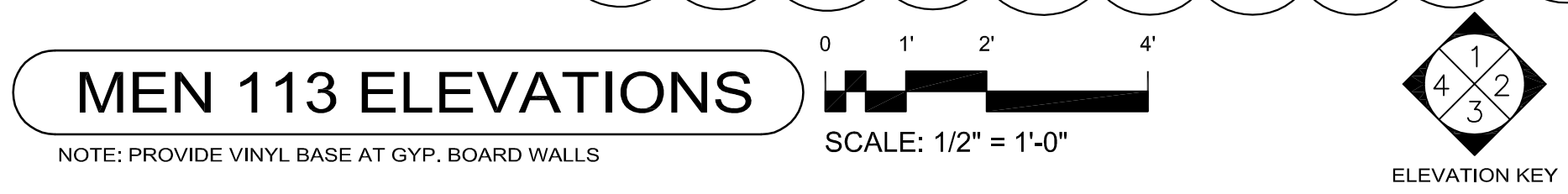
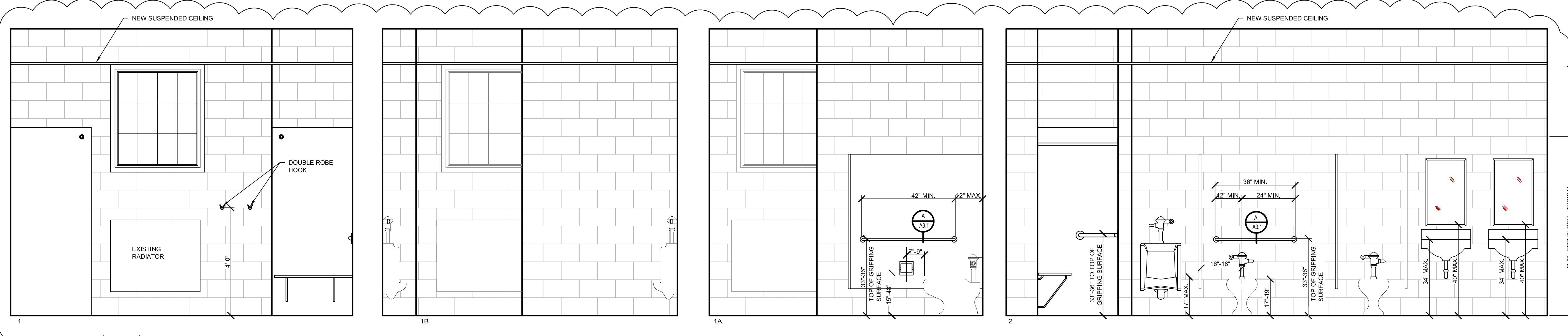
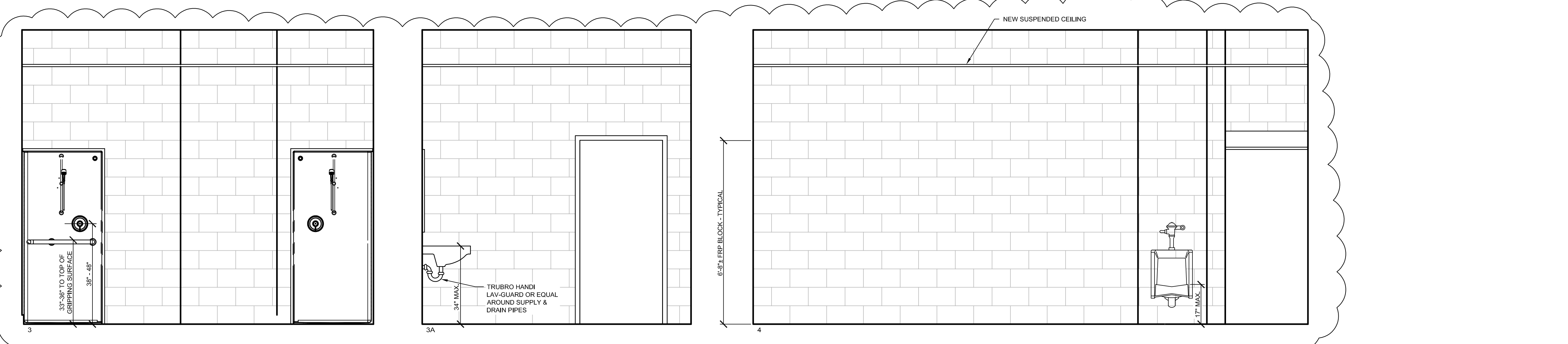
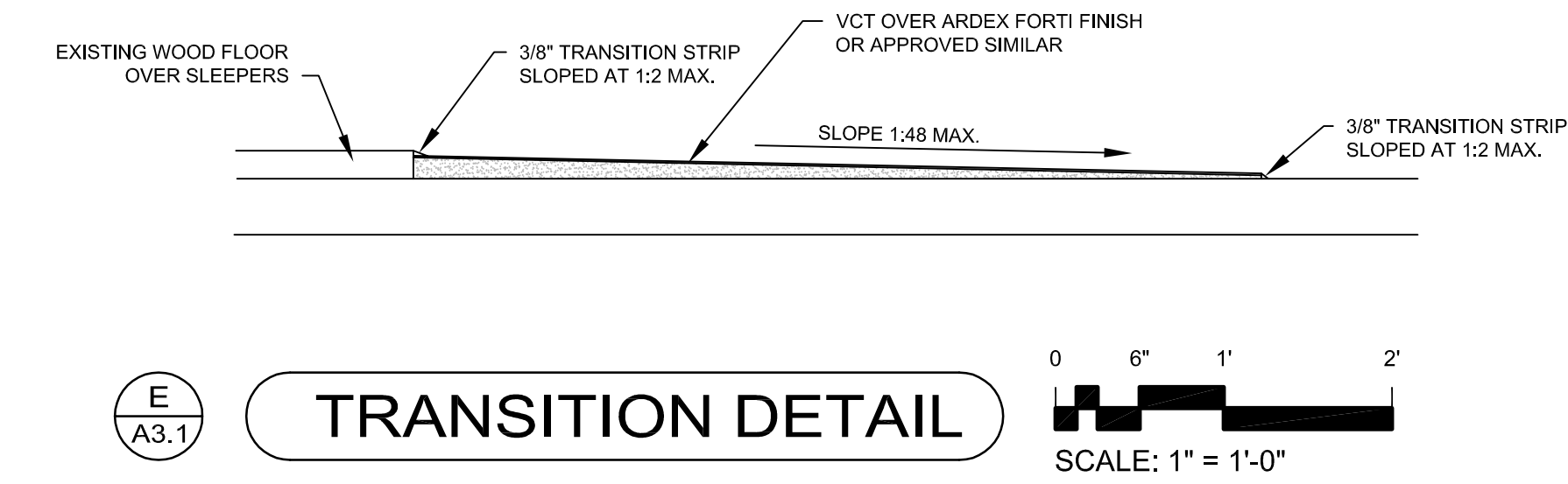
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Drawn by:	CMC	Approved by:	BMB
Project:	NO. 964	Date:	OCTOBER 28, 2016

Sheet Number:
A1.2

DOOR SCHEDULE

NO.	SIZE	TYPE	HARDWARE	FRAME	REMARKS
01	3'-0" x 6'-8"	FLUSH STEEL	LATCH, LOCK, LEVER HANDLE, STOP	STEEL WRAP AROUND	
02	3'-6" x 6'-8"	CASED OPENING			PATCH FLOOR AS REQUIRED
03	3'-0" x 6'-8"	FLUSH STEEL	LATCH, PRIVACY LOCK, LEVER HANDLE, STOP	STEEL WRAP AROUND	
04	2'-8" x 6'-8"	FLUSH STEEL	LATCH, LOCK, LEVER HANDLE, CLOSER, STOP		
05	3'-6" x 6'-8"	CASED OPENING			PATCH FLOOR AS REQUIRED
06	4'-0" x 6'-8"	FLUSH STEEL	LATCH, LOCK, LEVER HANDLE, STOP	STEEL WRAP AROUND	PATCH FLOOR AS REQUIRED
07	6'-0" x 6'-6"	FLUSH STEEL HALF GLASS	PUSH, PULL, CLOSER, STOP		TEMPERED WIRE GLASS
08	6'-0" x 6'-8"	FLUSH STEEL	LATCH, LOCK, LEVER HANDLE, STOP		
09	3'-0" x 6'-8"	FLUSH STEEL	LATCH, LOCK, LEVER HANDLE, STOP		PROVIDE NEW 4" STEEL LINTEL
10	3'-0" x 6'-8"	FLUSH STEEL	PUSH, PULL, CLOSER, STOP		
11	3'-0" x 6'-8"	FLUSH STEEL	PUSH, PULL, CLOSER, STOP		PATCH FLOOR AS REQUIRED. PROVIDE NEW 4" STEEL LINTEL
12	3'-0" x 6'-8"	CASED OPENING			
13	3'-0" x 6'-8"	FLUSH STEEL	LATCH, LOCK, LEVER HANDLE, STOP		PATCH FLOOR AS REQUIRED. PROVIDE NEW 4" STEEL LINTEL
14	6'-6"± x 7'-0"±	INSULATED STEEL ROLL UP	CHAIN OR CRANK OPENER		
15	3'-0"x6'-8"	ALUMINUM STOREFRONT HALF GLASS WITH 3'-0" HALF GLASS SIDELIGHT AND TRANSOM TO FIT EXISTING OPENING	PUSH, PULL, LOCK, LEVER HANDLE, POWER DOOR OPERATOR, PANIC DEVICE		MAX. U FACTOR 0.70. LOW PROFILE THRESHOLD
16	3'-0"x6'-8"	FLUSH STEEL	LATCH, LOCK, LEVER HANDLE, STOP		LOW PROFILE THRESHOLD. PROVIDE NEW 4" STEEL LINTEL
17	6'-0" x 6'-6"	FLUSH STEEL HALF GLASS	PUSH, PULL, CLOSER, STOP		TEMPERED WIRE GLASS
18	3'-0" x 6'-6"	FLUSH STEEL	PUSH, PULL, CLOSER, STOP, PANIC DEVICE - REUSE POWER DOOR OPERATOR, EXISTING OPERATOR TO BE REPAIRED TO MAKE OPERABLE		PROVIDE AUTOMATIC DOOR SIGN
19	3'-0" x 6'-6"				

NOTE:
ALL LOCKABLE DOORS TO BE KEYED ALIKE. CONTRACTOR TO COORDINATE WITH OWNER FOR KEYING.

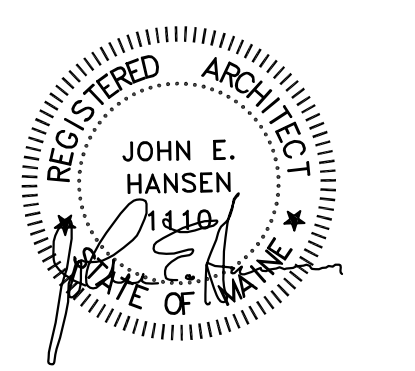


Project:
HASTY COMMUNITY CENTER RENOVATIONS
48 Pettingill Park Road, Auburn, Maine
Bid No. 2017-008

Client:
City of Auburn, Maine
60 Court Street
Auburn, Maine 04210

Legend:

0 6" 1' 2'
SCALE: 1" = 1'-0"



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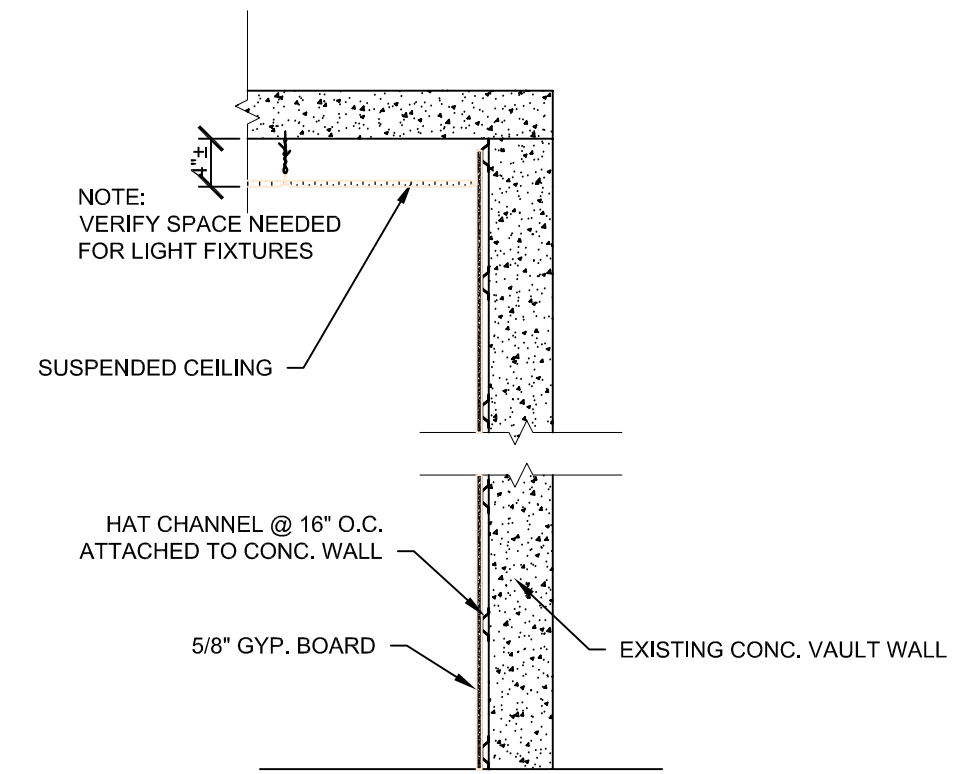
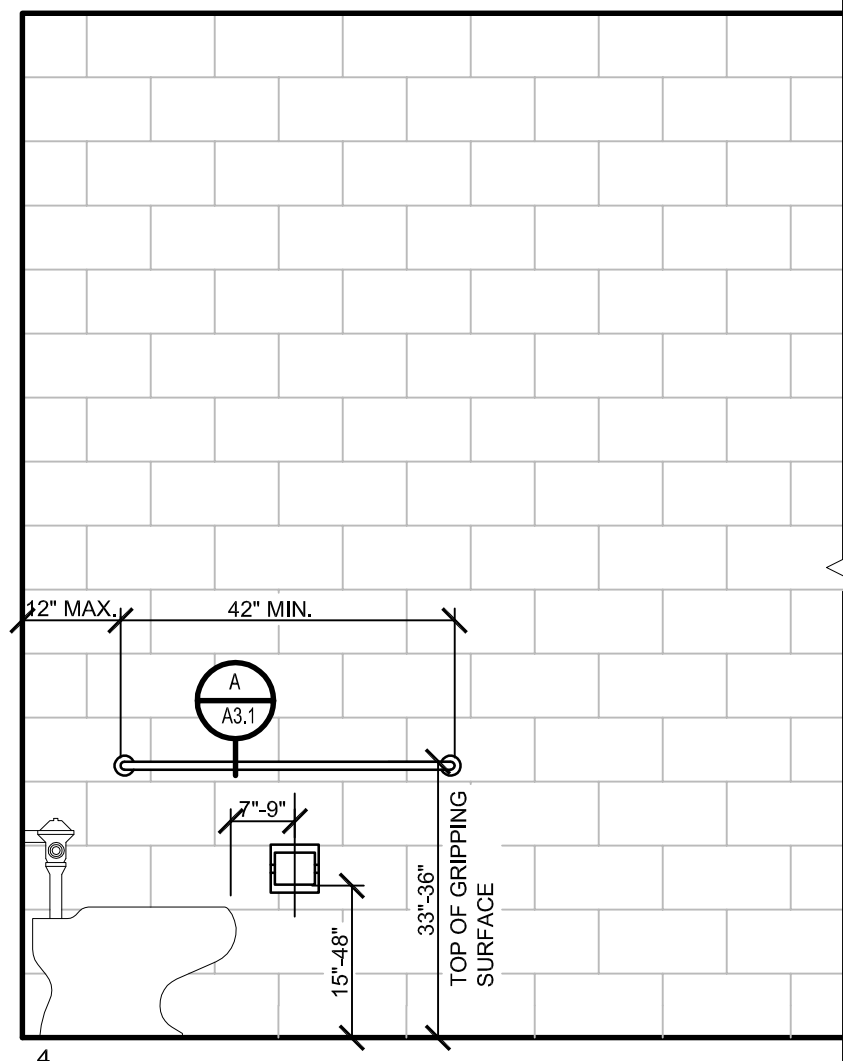
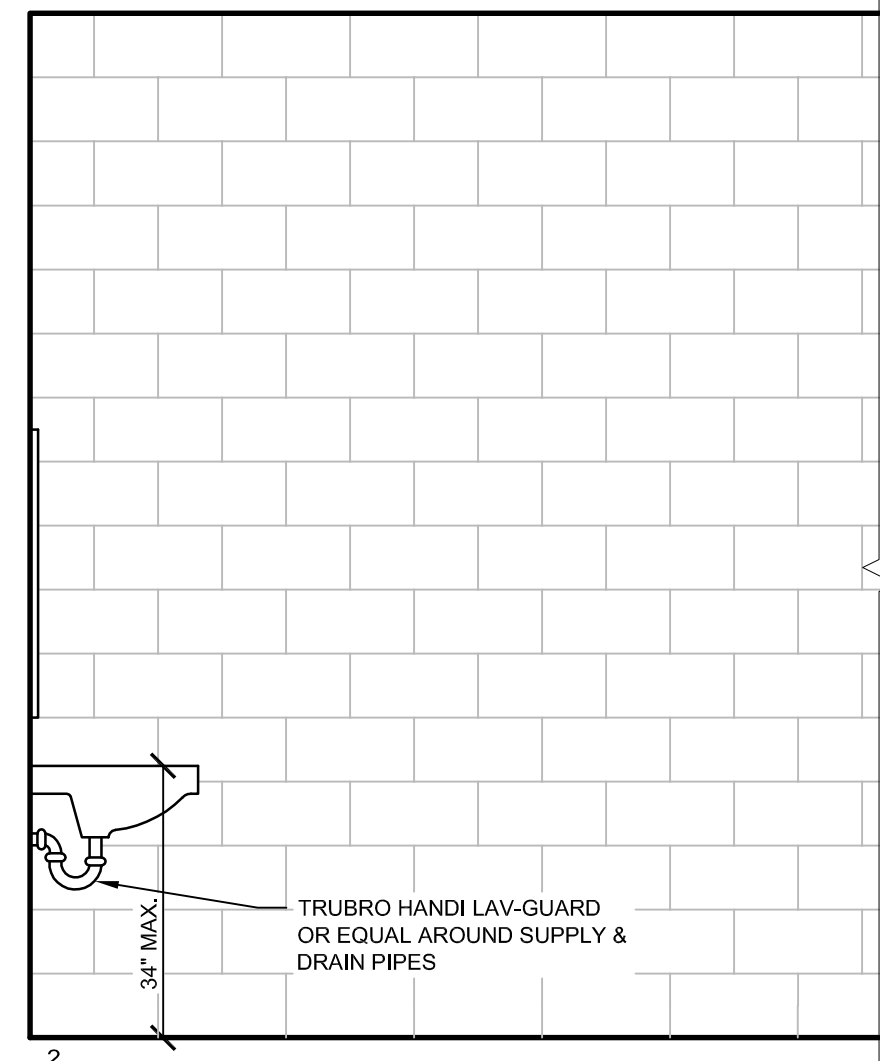
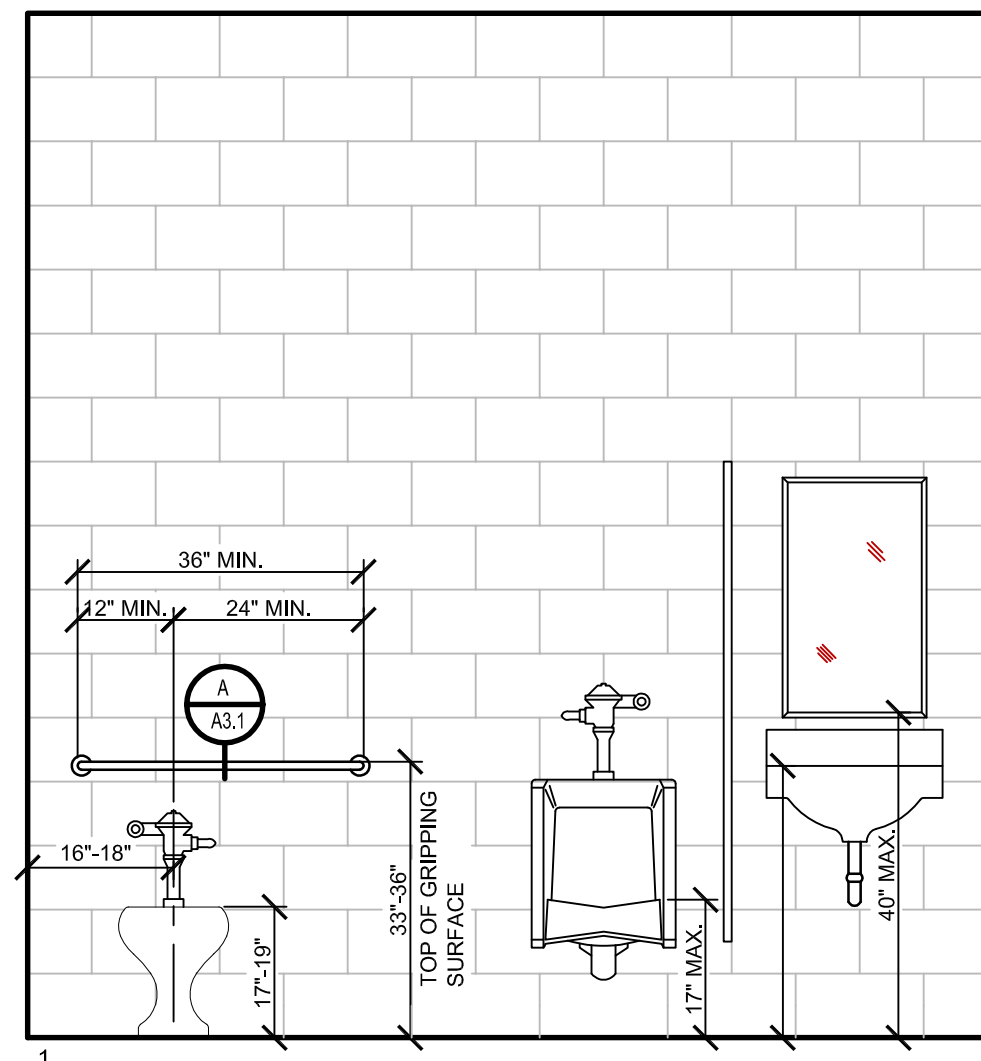
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Sheet Title:
PROPOSED INTERIOR ELEVATIONS

01	PLUMBING CHASE	11/23/16
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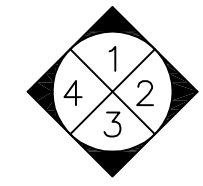
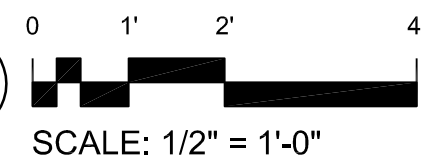
No.	Revision/Issue	Date
Design by:	JEH	Checked by: MAD
Drawn by:	CMC	Approved by: BMB
Project NO. 964	Date: OCTOBER 28, 2016	

Sheet Number:
A3.1

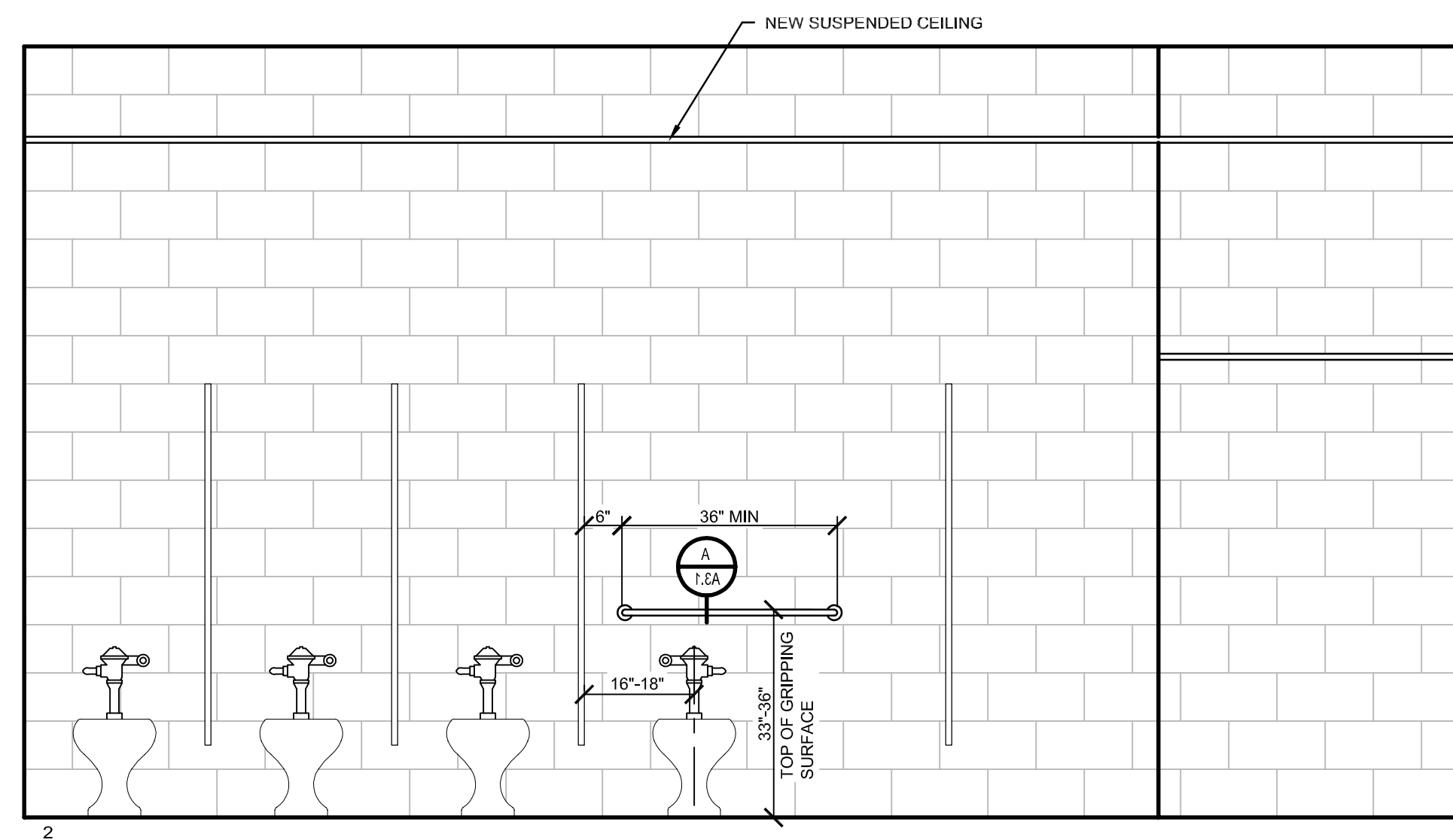
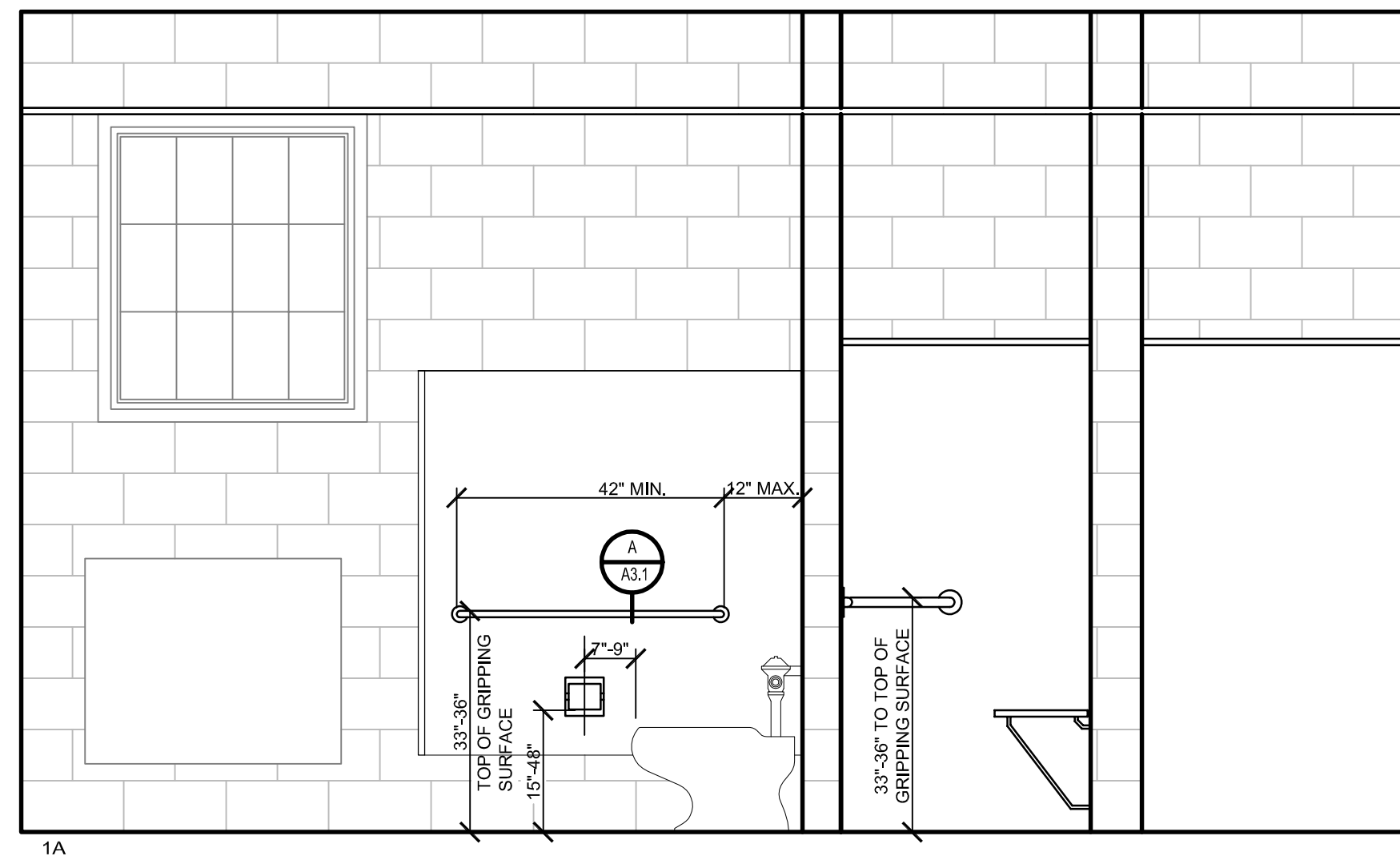
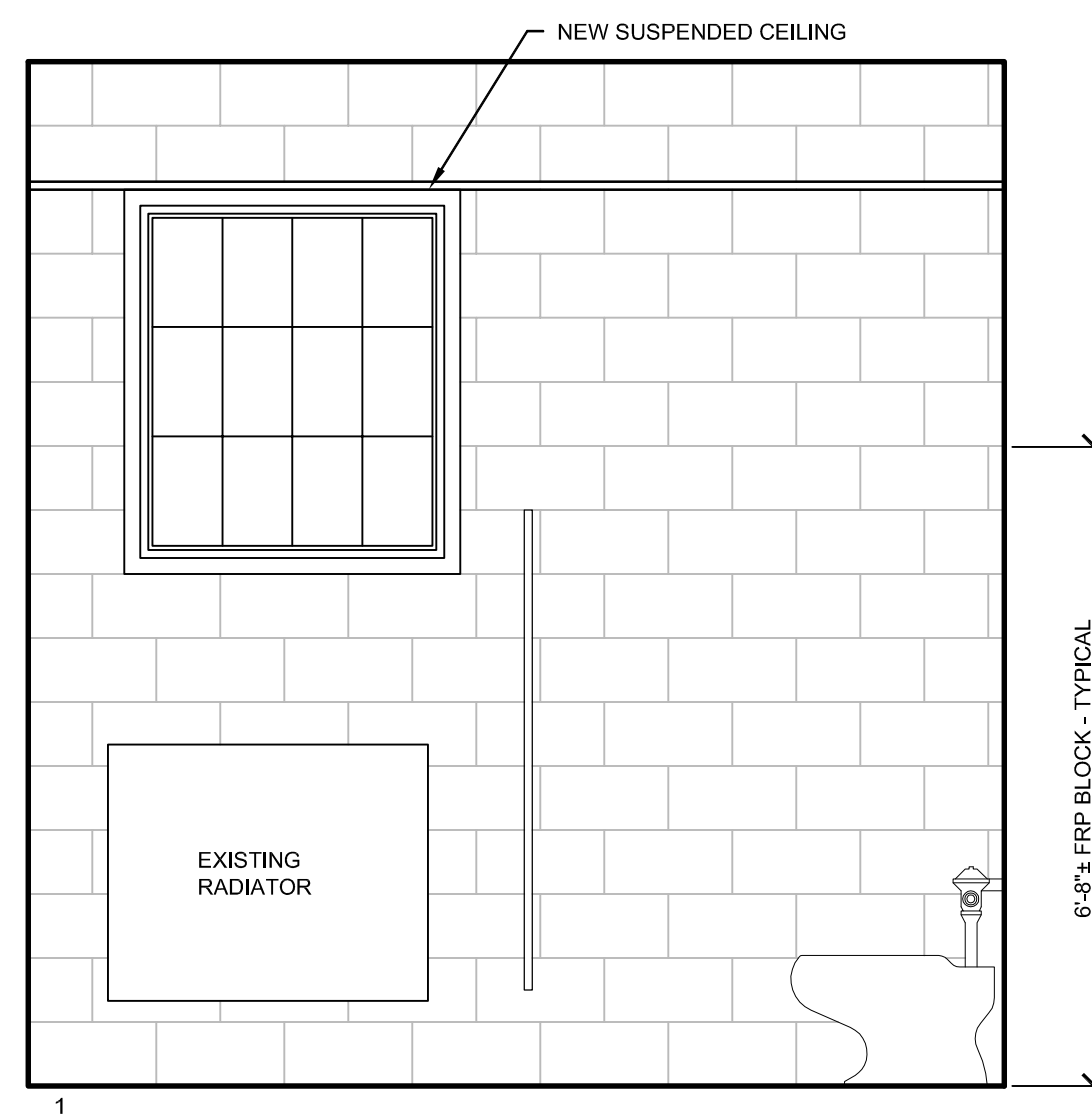
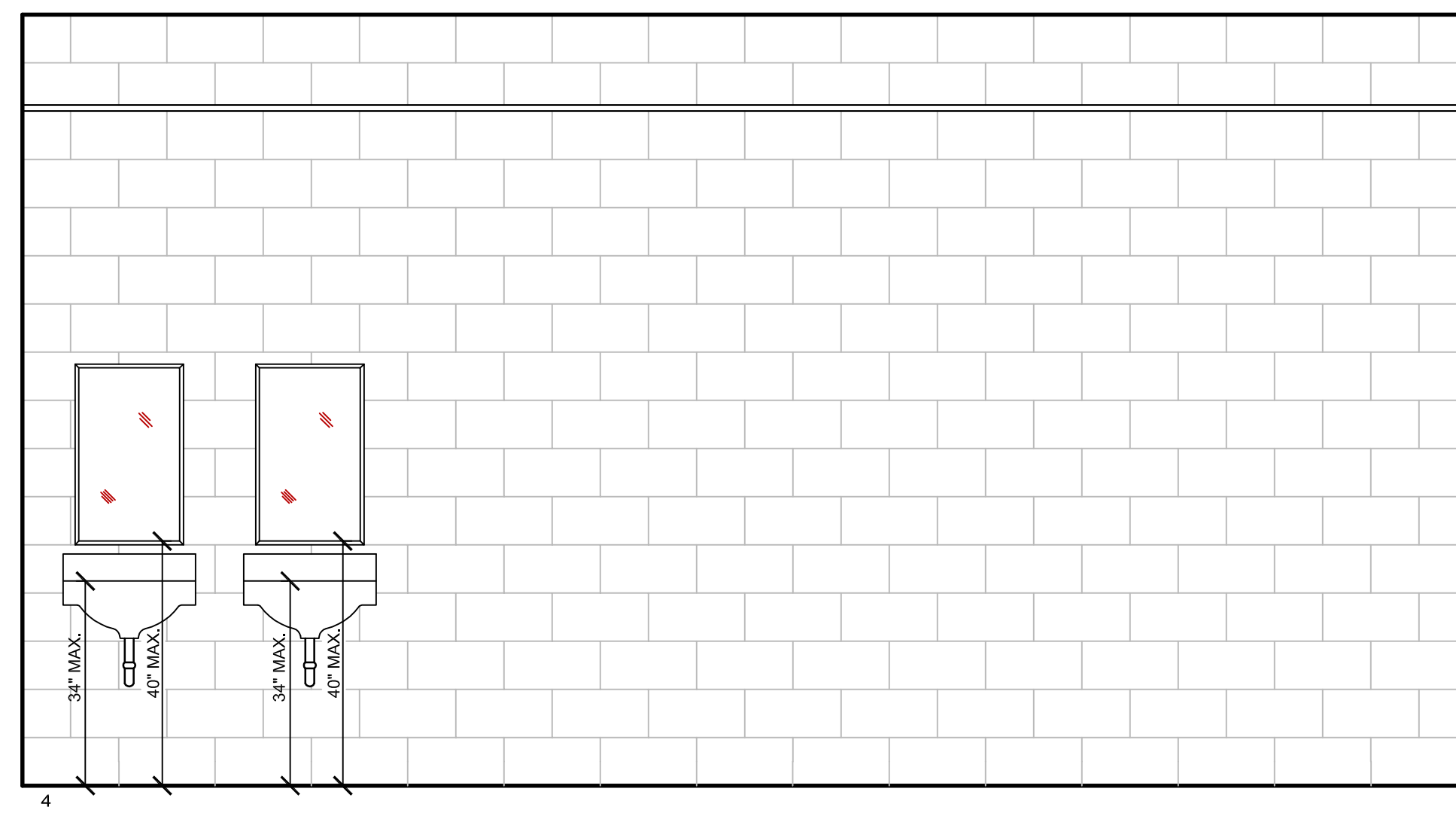
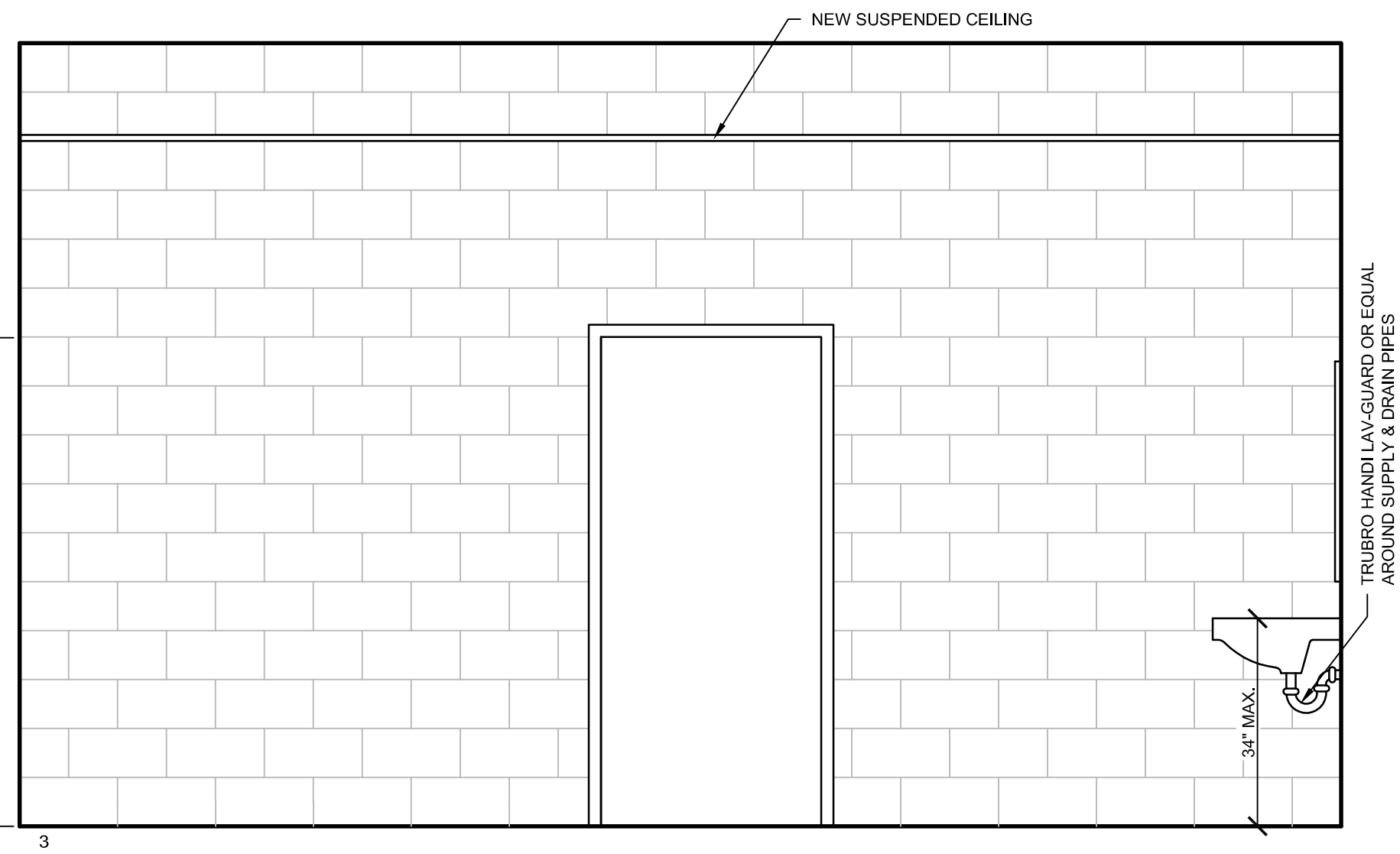
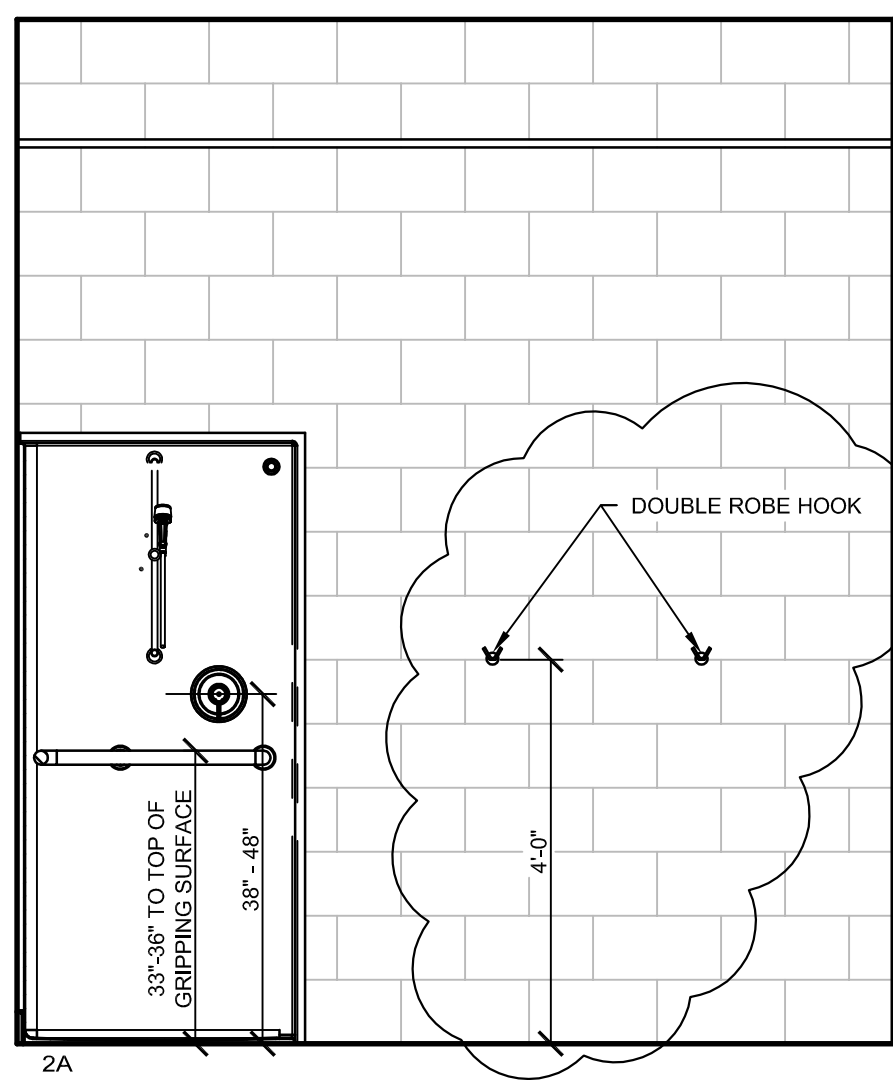


D A3.2 **DETAIL** SCALE: 1/2" = 1'-0"

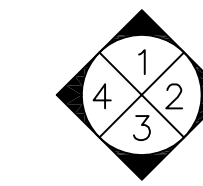
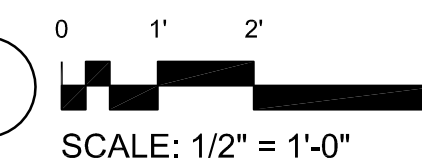
119 ELEVATIONS



ELEVATION KEY



WOMEN 114 ELEVATIONS

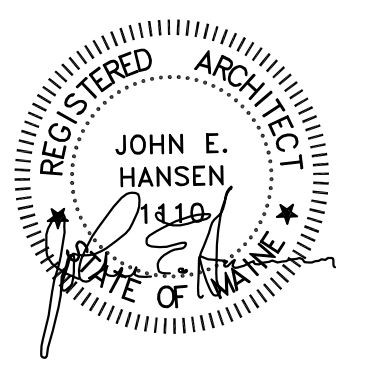


ELEVATION KEY

Project:
HASTY COMMUNITY CENTER RENOVATIONS
 48 Pettingill Park Road, Auburn, Maine
 Bid No. 2017-008

Client:
 City of Auburn, Maine
 60 Court Street
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Legend:



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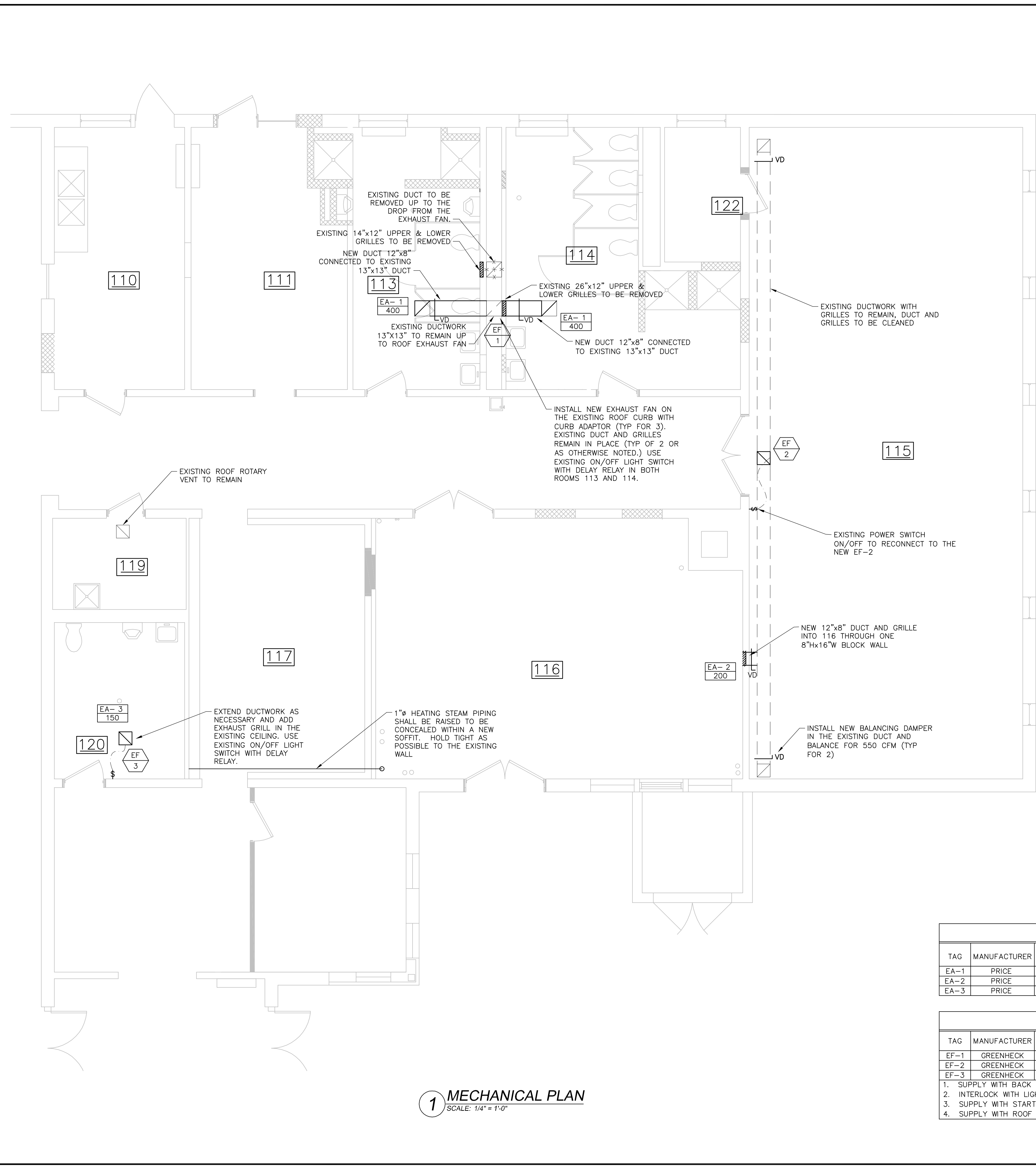
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Sheet Title:
PROPOSED INTERIOR ELEVATIONS

01	TOWEL BAR TO ROBE HOOKS	11/23/16
No.	Revision/Issue	Date

Design by: JEH	Checked by: MAD
Drawn by: CMC	Approved by: BMB
Project NO. 964	Date: OCTOBER 28, 2016

Sheet Number:
A3.2



1 MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- ALL PIPING AND DUCTWORK IS SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD AND SHALL BE APPROVED BY THE OWNER OR HIS REPRESENTATIVE.
- IT IS THE INTENT OF THESE DRAWINGS TO SHOW COMPLETE AND FUNCTIONAL SYSTEMS THAT ARE IN COMPLIANCE WITH ALL INDUSTRY STANDARDS AND APPLICABLE CODES. IF DISCREPANCIES ARE NOTED, NOTIFY THE OWNER OR HIS REPRESENTATIVE.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL INSTALLATIONS SHALL CONFORM TO MANUFACTURER'S INSTRUCTIONS, INDUSTRY STANDARDS AND CURRENT CODES, AS ADOPTED BY THE STATE OR OTHER AUTHORITY HAVING JURISDICTION.
- WHERE DUCTS OR PIPES PENETRATE WALLS, FLOORS, OR PARTITIONS, A SLEEVE SHALL BE INSTALLED AND THE SPACE BETWEEN THE STRUCTURE AND THE PIPE OR DUCT SHALL BE SEALED AIRTIGHT WITH AN APPROVED MATERIAL.
- THE EXACT LOCATION OF CEILING EQUIPMENT TO BE DETERMINED BY ARCHITECTURAL TRADE.
- COORDINATE ALL CEILING, WALL, AND FLOOR PENETRATIONS WITH OPENINGS SHOWN ON ARCHITECTURAL DRAWINGS.
- ALL WORK UNDER THIS SECTION SHALL BE COORDINATED WITH ALL TRADES BEFORE ANY INSTALLATION.
- ALL SUPPLEMENTAL STEEL CONNECTIONS TO THE MAIN STRUCTURE FOR SUPPORT OF HVAC EQUIPMENT SHALL BE BY THE HVAC CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL PENETRATIONS THAT ALTER THE STRUCTURE SHALL BE APPROVED BY THE ENGINEER.
- ALL EXPOSED EQUIPMENT SHALL HAVE COLORS SELECTED BY THE OWNER, UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR PATCHING OF PENETRATIONS THROUGH WALLS WHERE EQUIPMENT HAS BEEN REMOVED.

CONSTRUCTION NOTES:

- REMOVE EXISTING ROOF FANS / VENTALATOR AND LEAVE IN PLACE ROOF CURBS FOR EF-1, EF-2 AND EF-3.
- DISCONNECT POWER TO EXISTING FANS.
- INSTALL NEW ROOF EXHAUST FANS EF-1 TO EF-3 ON EXISTING ROOF CURBS WITH NEW CURB ADAPTERS.
- CONNECT TO POWER EF-1 TO EF-3
- CONNECT EXHAUST FANS TO OPERATE WITH LIGHT SWITCH WITH DELAY RELAY IN THE BATHROOMS FOR EF-1 AND EF-3.
- ALL EXISTING DUCTWORK TO REMAIN SHALL BE CLEANED FROM THE INTAKE GRILLES TO THE EXHAUST FAN.
- REMOVE AND IN-FILL EXISTING UPPER AND LOWER GRILLES IN ROOMS 113 AND 114 DUE TO NEW DROP CEILING INSTALLATION.
- BALANCE EXHAUST FLOW FROM EACH BATHROOM RM 113 AND 114 FOR 400 CFM AND RM 120 150 CFM.
- EXHAUST FAN EF-2 SHALL WORK ON EXISTING ON/OFF POWER SWITCH.
- INSTALL NEW BALANCING DAMPERS FOR EXISTING GRILLES (FOR EF-2) AND BALANCE FOR 550 CFM.
- THERMAL INSULATE THE LAST 10 FEET EXHAUST DUCT TO THE EXHAUST FAN ON THE ROOF WITH 1.5" FLEXIBLE WRAP AROUND INSULATION.

MECHANICAL SYMBOLS

- NEW DUCT
- EXISTING DUCT
- EQUIPMENT DESIGNATION
- GRILLS AND DIFFUSER
- POINT OF CONNECTION

REGISTER, GRILLE AND DIFFUSER SCHEDULE

TAG	MANUFACTURER	MODEL	RECT. NECK SIZE	ROUND NECK SIZE	FACE SIZE	CFM RANGE	FRAME TYPE	MOUNTING	NC LEVEL	NOTES
EA-1	PRICE	620	16"x10"	-	16"x10"	-400	LAY-IN	LAY-IN	<28	WHITE ALUMINUM
EA-2	PRICE	620	12"x8"	-	12"x8"	-200	WALL	WALL	<28	WITH BALANCING DAMPER, WHITE ALUMINUM
EA-3	PRICE	620	10"x10"	-	10"x10"	-150	CEILING	CEILING	<28	FOR HARD CEILING, WHITE ALUMINUM

FAN SCHEDULE

TAG	MANUFACTURER	MODEL	TYPE	LOCATION	CFM	S.P. (IN. W.G.)	FAN RPM	MOTOR DATA			DRIVE TYPE	NC	NOTES	
								HP	V	PH				
EF-1	GREENHECK	GB091-4	ROOF EX	ROOF	800	.5	1435	1/4	115	1	-	BD	9.6	① ② ③ ④ ⑤ ⑥ ⑦ ⑧
EF-2	GREENHECK	GB121-3	ROOF EX	ROOF	1300	.5	1327	1/3	115	1	-	BD	4.7	① ③ ④ ⑤ ⑦ ⑧ ⑨
EF-3	GREENHECK	GB071-6	ROOF EX	ROOF	150	.5	1236	1/6	115	1	-	BD	6.9	① ② ③ ④ ⑤ ⑥ ⑦ ⑧

1. SUPPLY WITH BACK DRAFT DAMPERS. 5. NOT USED. 9. ON ON/OFF POWER SWITCH
 2. INTERLOCK WITH LIGHT SWITCH AND DELAY RELAY 6. PROVIDE WITH BIRD SCREEN
 3. SUPPLY WITH STARTERS. 7. SUPPLY WITH FACTORY MOUNTED DISCONNECT NEMA-3R
 4. SUPPLY WITH ROOF CURB ADAPTER. 8. MOTOR AND DRIVES ISOLATED ON SHOCK MOUNTS

Project:
HASTY COMMUNITY CENTER RENOVATIONS
 48 Pettingill Park Road, Auburn, Maine
 Bid No. 2017-008

Client:
 City of Auburn, Maine
 60 Court Street
 Auburn, Maine 04210

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Sheet Title:
MECHANICAL LAYOUT

01	PLUMBING CHASE	11/23/16
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No. **Revision/Issue** **Date**

Design by: MI **Checked by:** MAD
Drawn by: RR **Approved by:** BMB

Project **Date**
 NO. 964 OCTOBER 28, 2016

Sheet Number:
M-1



TYPE	DESCRIPTION	MANUF.	LAMPS	MOUNTING	MODEL #
A	2' X 4' LED LENSED TROFFER	LOMAR LIGHTING	50W LED 4000K 5953 LUMENS	CEILING GRID	FPLN245040D
B	4' LED LENSED WRAPAROUND FIXTURE	COLUMBIA LIGHTING	48W LED 4000K 4700 LUMENS	CEILING OR SUSPENDED MOUNT	LAW4-40ML-EU
C	4' LED LENSED WRAPAROUND FIXTURE	COLUMBIA LIGHTING	55W LED 4000K 5600 LUMENS	CEILING ON CHANNEL SUPPORT	LAW4-40HL-EU
D	4' LED LENSED WRAPAROUND FIXTURE	COLUMBIA LIGHTING	48W LED 4000K 4700 LUMENS	CEILING OR SUSPENDED MOUNT	LAW4-40ML-EU WITH WIRE GUARD
E	4" LED WET LOCATION DOWNLIGHT	COLUMBIA LIGHTING	12W LED 4000K 720 LUMENS	SUSPENDED MOUNT	SLD405-8-27-WH
EL	EMERGENCY LIGHT	DUAL-LITE	(2) 1W LED	WALL MOUNT	EY2
ER	EMERGENCY LIGHT	DUAL-LITE	1W LED	WALL MOUNT	EY2 - REMOTE HEAD
ES	EXIT SIGN	DUAL-LITE	2W LED	UNIVERSAL	EVEURW

GENERAL NOTES:

- ALL WORK SHALL BE IN COMPLIANCE WITH NFPA-70, NATIONAL ELECTRIC CODE, 2014 EDITION AND THE LOCAL AUTHORITY HAVING JURISDICTION.
- THIS DRAWING IS DIAGRAMMATIC IN NATURE AND IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS AND PROVIDE ALL COMPONENTS AND MATERIALS FOR A COMPLETE AND OPERATIONAL INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CATALOG NO. PROVIDED IS TO BE FIELD VERIFIED BY THE CONTRACTOR FOR CORRECT INSTALLATION, MOUNTING, CONTROLS, VOLTAGE, ETC. AS NECESSARY.
- THE INTENT OF THE WORK IS TO REPLACE THE INDICATED EXISTING LIGHT FIXTURES AND EMERGENCY LIGHTS WITH LED EQUIVALENTS IN A ONE-FOR-ONE MANNER.
- EXISTING LIGHT FIXTURES THAT ARE NOT INCORPORATED IN THE NEW DESIGN ARE TO BE REMOVED ALONG WITH ALL ASSOCIATED WIRING FOR THAT FIXTURE. CEILING TO BE REPAIRED, PATCHED, OR PAINTED TO MATCH EXISTING.
- REUSE EXISTING CIRCUIT WIRING TO SWITCHES. REPLACE SWITCHES AND WIRE FROM SWITCHES TO NEW LIGHT FIXTURES. DOCUMENT EXISTING AND NEW CIRCUITS AND PANEL SCHEDULES IN THE FIELD FOR INCLUSION IN THE RECORD DRAWINGS.
- EXISTING LIGHT SWITCH LOCATIONS ARE TO BE FIELD VERIFIED AND DOCUMENTED FOR INCLUSION IN THE RECORD DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL WIRING AND CONDUITS REQUIRED FOR RECONNECTION OF NEW AND EXISTING EQUIPMENT AND FIXTURES TO REMAIN.
- ALL EXPOSED CONDUIT SHALL BE EMT, 3/4" MINIMUM. PROPERLY SUPPORTED MC CABLE ASSEMBLIES MAY BE USED ABOVE CEILINGS AND IN WALLS WHERE REQUIRED. FLEXIBLE LIQUIDTIGHT WHIPS MAY BE USED FOR CONNECTIONS TO EXPOSED SUSPENDED FIXTURES.
- ALL NEW EXPOSED CONDUIT SHALL BE PAINTED TO MATCH THE ADJACENT SURFACE COLOR BEING ATTACHED TO.
- UNLESS OTHERWISE NOTED ALL HOMERUNS FOR 15A OR 20A CIRCUITS SHALL BE 2#12AWG & #12 GROUND. HOMERUNS FED FROM 20A, 1P CIRCUITS IN EXCESS OF 100 FEET (FOR 120V CIRCUITS) SHALL BE #10AWG. ALL WIRING SHALL BE COPPER.
- THE OWNER RESERVES THE RIGHT TO RETAIN ANY EQUIPMENT OR FIXTURES BEING REMOVED. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO PROPERLY DISPOSE OF ALL CONSTRUCTION WASTE.
- THE CONTRACTOR IS RESPONSIBLE REPLACE ANY DAMAGED SUSPENDED CEILING GRID OR TILES AS A RESULT OF PERFORMING THE WORK.
- CONNECT NEW EXHAUST FANS TO CIRCUITS OF EXISTING FANS BEING REMOVED. FANS ARE SUPPLIED WITH DISCONNECTS AND STARTERS. CONTRACTOR IS RESPONSIBLE TO INTERCONNECT FAN WITH ROOM LIGHTING SWITCH FOR CONTROL.
- THIS PROJECT INTENDS TO PURSUE EFFICIENCY MAINE PRESCRIPTIVE AND/OR CUSTOM INCENTIVES WHERE APPLICABLE. THE CONTRACTOR SHALL COORDINATE THE ACTIVITIES ASSOCIATED WITH EFFICIENCY MAINE INCETIVE APPROVAL PROCESS INCLUDING BUT NOT LIMITED TO: PREPARATION AND SUBMISSION OF ALL APPLICABLE INCENTIVE APPLICATIONS. RECEIVING PRE-APPROVAL WHEN APPLICABLE, THE TRACKING AND SUBMISSION OF MEASURE SPECIFIC INVOICES TO EFFICIENCY MAINE WITHIN THE PRESCRIBED TIMEFRAME, AND PROVIDE FOLLOW-UP AS NECESSARY UNTIL THE CITY OF AUBURN RECEIVES THE INCENTIVES.
- ALL NEW SWITCHES 1 GANG OR MORE THAT ARE BEING REMOVED SHALL BE REPLACED WITH A NEW STAINLESS STEEL COVER PLATE.

WORK NOTES:

- EXISTING SWITCHES AND OUTLET LOCATIONS IN THESE ROOMS SHALL BE REMOVED AND THE NEW DEVICES SHOWN SHALL BE INSTALLED. FEED POWER FROM EXISTING CIRCUIT SERVICING THESE AREAS.
- CONNECT TO EXISTING LIGHTING CIRCUIT WITHIN THIS ROOM.
- RUN A NEW ELECTRICAL CIRCUIT BACK TO NEAREST ELECTRICAL PANEL. PROVIDE A NEW 1P 20A BREAKER IN PANEL FOR THIS CIRCUIT.
- FEED NEW DEVICES FROM EXISTING DEVICE CIRCUIT BEING REMOVED IN THIS ROOM
- CONNECT TO EXISTING POWER CIRCUIT IN THIS ROOM
- PROVIDE NEW OUTLET IN EXISTING LOCATION TO FIT FLUSH WITH NEW WALL SURFACE.

ELECTRICAL SYMBOLS

- NEW DEVICE
- EXISTING DEVICE
- DEVICE TO BE REMOVED
- LIGHT FIXTURE
- (2)#12-#12GND UNO
- SWITCH 3-3 WAY
- HOMERUN ARROW
- DUPLEX RECEPTACLE
- GFI-GROUND FAULT DEVICE

1 ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

2 BASEMENT ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

Project:
HASTY COMMUNITY CENTER RENOVATIONS
48 Pettingill Park Road, Auburn, Maine
Bid No. 2017-008

Client:
City of Auburn, Maine
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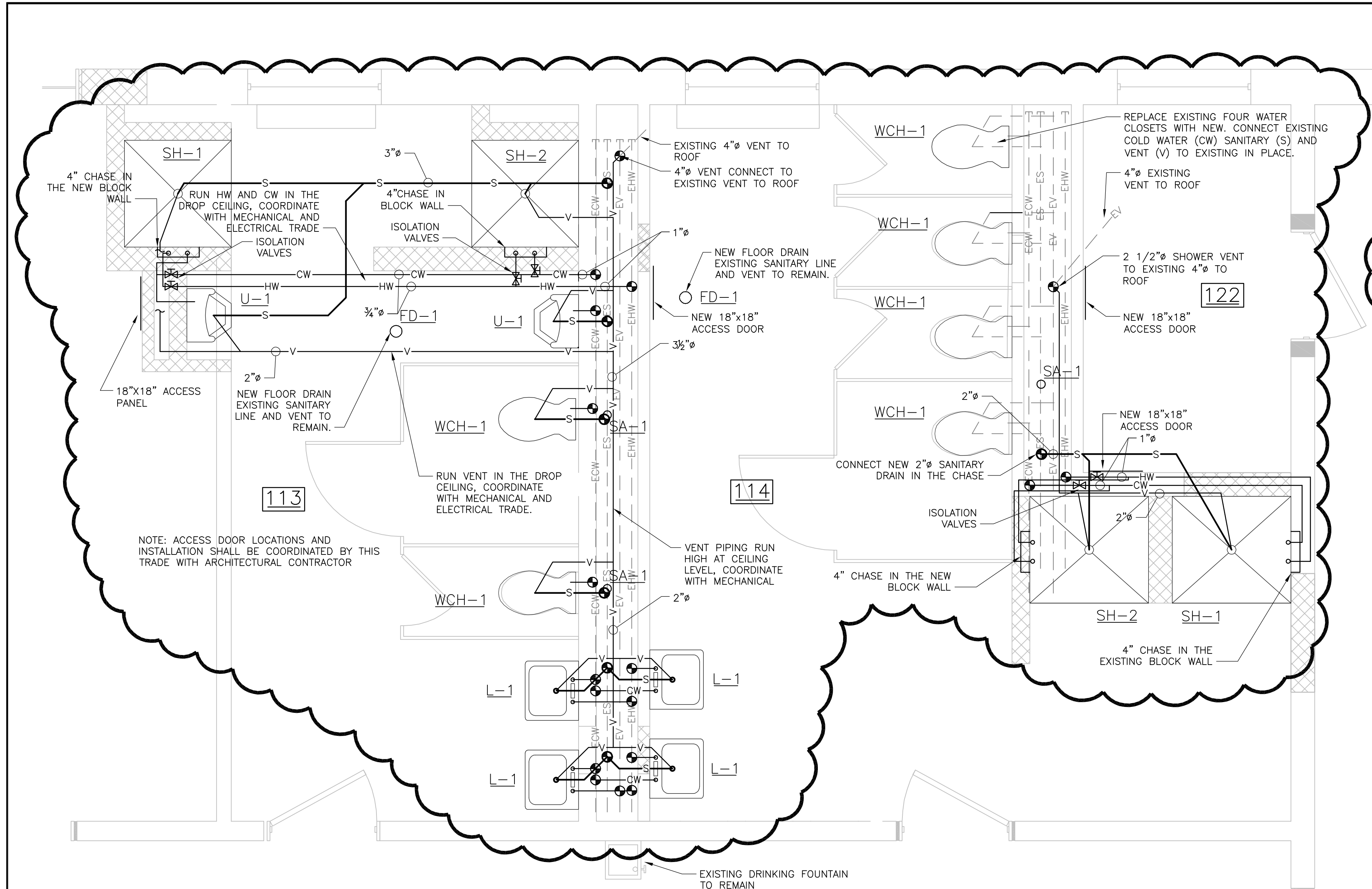
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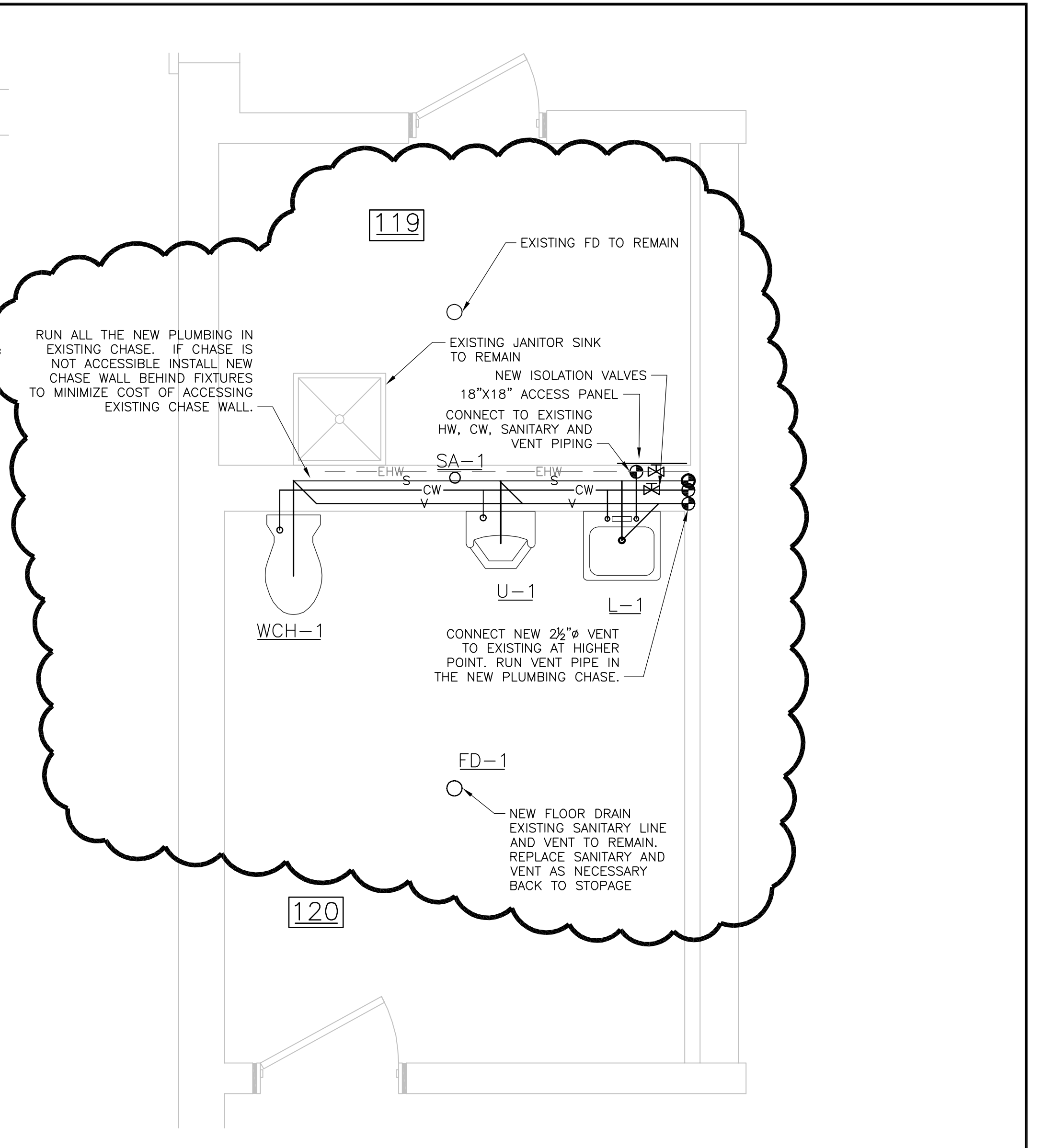
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Sheet Title:
ELECTRICAL PLAN

01	PLUMBING CHASE	11/23/16
No.	Revision/Issue	Date
Design by:	MI	Checked by: MAD
Drawn by:	RR	Approved by: BMB
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1 TOILET PLUMBING PLAN FOR RM 113 & 114
SCALE: 1/2" = 1'-0"



2 TOILET PLUMBING PLAN FOR RM 120
SCALE: 1/2" = 1'-0"

FIXTURE SCHEDULE							
TAG	FIXTURE	PLUMBING CONNECTIONS				DESCRIPTION	NOTES
		S	V	CW	HW		
FD-1	FLOOR DRAIN	3"	1 1/2"	-	-	WATTS FD-100-C-A	INSTALL FLUSH W/NEW VCT TILE FLOOR
L-1	LAVATORY	2"	1 1/4"	1/2"	1/2"	AMERICAN STANDARD LUCERNE MODEL 0356 0356 W/CHICAGO 895-317 FAUCET, ANGLE SUPPLIES W/STOPS & TRUEBRO LAV GUARD	WALL HUNG
SA-1	SHOCK ABSORBER	-	-	1/2"	-	PPP SC-500	
U-1	URINAL	2"	1 1/2"	1"	-	AMERICAN STANDARD MODEL 6590.001 W/ROYAL 186-1 FLUSH VALVE	
WCH-1	WATER CLOSET	3"	2"	1"	-	AMERICAN STANDARD MADERA 3043 ELONGATED BOWL 1.6 GPF W/SLOAN FLUSH VALVE, OPEN SEAT, LESS LID	FLOOR MOUNTED - FLUSH VALVE
SH-1	SHOWER	2"	1 1/2"	1/2"	1/2"	AQUARIUS MODEL G-3637BF3P RRF-00 40.25"x38.5"x77.5" WITH SIMMONS FAUCET MODEL S-9603-PLR	
SH-2	ADA SHOWER	2"	1 1/2"	1/2"	1/2"	AQUARIUS MODEL G-3637BF3P WITH GRAB BAR AND SEAT-ADA ACCESSIBLE - OD 40.25"x38.5"x77.5" WITH SIMMONS FAUCET MODEL S-9603-PLR	

ABBREVIATIONS (PLUMBING)

DRINKING FOUNTAIN	DF
FLOOR DRAIN	FD
LAVATORY	L
TOILET	WC
TOILET-HANDICAP	WCH
URINAL	U
VENT THROUGH ROOF	VTR

PLUMBING PIPING SYMBOLS

COLD WATER	— CW —
HOT WATER	— HW —
SANITARY DRAIN	— S —
VENT	— V —
EXISTING COLD WATER	--- ECW ---
EXISTING HOT WATER	--- EHW ---
EXISTING SANITARY DRAIN	--- ES ---
EXISTING VENT	--- EV ---
EXISTING PIPING	— — — — —
PIPING DROP	⊖
PIPING RISE	⊕
FLOOR CLEANOUT	⊖
FLOOR DRAIN	⊖
ISOLATION VALVE	⊖
NEW PIPING CONNECTION TO EXISTING PIPE	⊖
EQUIPMENT TO BE REMOVED	⊗

GENERAL NOTES:

- IT IS THE INTENT OF THESE DRAWINGS TO SHOW A COMPLETE PLUMBING SYSTEM IN ACCORDANCE WITH THE MAINE STATE PLUMBING CODE AND ANY LOCAL PLUMBING RULES. IF ANY DISCREPANCIES ARE NOTED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL PIPING SHALL BE CONCEALED FROM THE VIEW OF THE OCCUPANTS IN FINISHED SPACES UNLESS APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THE PLUMBING PLAN IS SCHEMATIC. PIPING SHOWN ON THE PLAN THAT IS NOT CONCEALED IN PARTITIONS IS SHOWN THAT WAY FOR CLARITY.
- ALL PIPING SHALL BE INSTALLED TO ALLOW FOR EXPANSION. USE SWING JOINTS, OFFSETS, EXPANSION JOINTS, ETC.
- ALL BURIED DOMESTIC WATER PIPES SHALL BE TYPE "K" COPPER WITH FLARED FITTINGS.
- WATER PIPING SHALL NOT BE RUN IN ANY AREA THAT COULD BE SUBJECT TO FREEZING. RUN ALL PIPING ON THE WARM SIDE OF BUILDING INSULATION.
- ALL PLUMBING FIXTURES SHALL HAVE SHUT-OFF VALVES ON COLD (AND HOT) WATER SUPPLIES.
- THE DESIGN OF THE WATER SYSTEM IS BASED ON 80 PSI (STATIC) AT THE ENTRANCE.
- SLOPE ALL HORIZONTAL WASTE PIPING AT A MINIMUM SLOPE OF ONE QUARTER INCH PER FOOT TOWARD THE POINT OF DISPOSAL UNLESS OTHERWISE NOTED.
- INSTALL ALL HORIZONTAL WASTE PIPING LEVEL OR SLOPED TOWARD THE DRAINAGE PIPE THAT IT SERVES.
- ALL SANITARY AND VENT PIPING SHALL BE PVC FOR SANITARY AND VENT. CONNECT TO EXISTING CAST IRON PIPING.
- ALL SOLDERED JOINTS IN THE PLUMBING SYSTEM SHALL BE MADE WITH LEAD FREE SOLDER.
- ALL PLUMBING PIPING SHALL BE LEAK TESTED PER THE MAINE STATE PLUMBING CODE, IN THE PRESENCE OF THE LOCAL PLUMBING INSPECTOR. ALL LEAKS SHALL BE REPAIRED AND THE SYSTEM, OR THAT PORTION OF THE SYSTEM RETESTED.
- BEFORE INSTALLING THE NEW FLOOR DRAINS, THE CONTRACTOR SHALL CHECK IF THE EXISTING P-TRAP ARE IN GOOD CONDITION. IF NOT CHANGE P-TRAP ACCORDINGLY.
- COORDINATE ALL PLUMBING INSTALLATION WITH ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL AND ELECTRICAL TRADES.

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BY DRAWER SHALL BE RESPONSIBLE AS A COMPETENT ENGINEER UNDER A STATE REGISTRATION SEAL

Sheet Title:
PLUMBING LAYOUT

01	PLUMBING CHASE	11/23/16
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No.	Revision/Issue	Date

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Drawn by:	RR	Approved by:	BMB

Project:	NO. 964	Date:	OCTOBER 28, 2016
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P-2